



APPLICATIONS:

DEPARTMENT OF CITY PLANNING APPLICATION

THIS BOX FOR CITY PLANNING STAFF USE ONLY

Case Number LA-2023-3187-2AD-SPP

Env. Case Number ENV-2023-3188-CE

Application Type ZAP + SPP MAJOR

Case Filed With (Print Name) Louis Ortega Date Filed 5/9/2023

Application includes letter requesting:
 Waived hearing Concurrent hearing Hearing not be scheduled on a specific date (e.g., vacation hold)

Related Case Number(s):

Provide all information requested. Missing, incomplete or inconsistent information will cause delays.

All terms in this document are applicable to the singular as well as the plural forms of such terms.

Refer to the Department of City Planning Application Filing Instructions ([CP-7810](#)) for more information.

1. PROJECT LOCATION

Street Address¹ 9604 HILLHAVEN AVE, TUJUNGA, CA 91042 Unit/Space Number N/A

Legal Description² (Lot, Block, Tract) 39-43, N/A, TR 6701

Assessor Parcel Number 2563036022 Total Lot Area 21,633 SF

2. PROJECT DESCRIPTION

Present Use SFD

Proposed Use SFD

Project Name (if applicable) _____

Describe in detail the characteristics, scope and/or operation of the proposed project _____
(N) 433 SF ADDITION TO THE MAIN HOUSE

Additional information attached YES NO

Complete and check all that apply:

Existing Site Conditions

- Site is undeveloped or unimproved (i.e., vacant)
- Site has existing buildings (provide copies of building permits)
- Site is/was developed with uses that could release hazardous materials on soil and/or groundwater (e.g., dry cleaning, gas station, auto repair, industrial)
- Site is located within 500 feet of a freeway or railroad
- Site is located within 500 feet of a sensitive use (e.g., school, park)
- Site has special designation (e.g., National Historic Register, Survey LA)

¹ Street Addresses must include all addresses on the subject/application site (as identified in ZIMAS—<http://zimas.lacity.org>)

² Legal Description must include all contiguously owned properties (even if they are not a part of the proposed project site)

Proposed Project Information

(Check all that apply or could apply)

- Demolition of existing buildings/structures
- Relocation of existing buildings/structures
- Removal of any on-site tree
- Removal of any street tree
- Removal of protected trees onsite / public right-of-way
- Grading
- Haul Route

- New construction: _____ square feet
- Additions to existing buildings
- Interior tenant improvement
- Exterior renovation or alteration
- Change of use and/or hours of operation
- Uses or structures in public right-of-way
- Phased project

Housing Component Information

Number of Residential Units: Existing 1 – Demolish(ed)³ 0 + Adding 0 = Total 1

Number of Affordable Units⁴ Existing _____ – Demolish(ed) _____ + Adding _____ = Total _____

Number of Market Rate Units Existing _____ – Demolish(ed) _____ + Adding _____ = Total _____

Mixed Use Projects, Amount of Non-Residential Floor Area: _____ square feet

Public Right-of-Way Information

Have you submitted the Planning Case Referral Form to BOE? (required) YES NO

Is your project required to dedicate land to the public right-of-way? YES NO

If so, what is/are your dedication requirement(s)? _____ ft.

If you have dedication requirements on multiple streets, please indicate: _____

3. ACTION(S) REQUESTED

Provide the Los Angeles Municipal Code (LAMC) Section that authorizes the request and (if applicable) the LAMC Section or the Specific Plan/Overlay Section from which relief is sought; follow with a description of the requested action.

Does the project include Multiple Approval Requests per LAMC 12.36? YES NO

Authorizing Code Section 11.5.7.C

Code Section from which relief is requested (if any): N/A

Action Requested, Narrative: PROJECT PERMIT COMPLIANCE REVIEW TO PERMIT ADDITION OF 433 SF TO MAIN HOUSE

Authorizing Code Section 12.24 X.28

Code Section from which relief is requested (if any): N/A

Action Requested, Narrative: ZONING ADMINISTRATOR'S DETERMINATION FOR LOT FRONTING ON A STREET IMPROVED TO LESS THAN 20 FEET WIDE/LESS THAN 20' OF CONTINUOUS PAVED DRIVEWAY

Additional Requests Attached YES NO

4. RELATED DEPARTMENT OF CITY PLANNING CASES

Are there previous or pending cases/decisions/environmental clearances on the project site? YES NO

If YES, list all case number(s) CPC-2000-1357-SP, CPC-1986-608-GPC, ORD-175736, ORD-164330-SA3320, ORD-129279, ORD-128730, AFF-37489, AFF-21875

³ Number of units to be demolished and/or which have been demolished within the last five (5) years.

⁴ As determined by the Housing and Community Investment Department

If the application/project is directly related to one of the above cases, list the pertinent case numbers below and complete/check all that apply (provide copy).

Case No. CPC-2000-1357-SP

Ordinance No.: _____

- Condition Compliance Review
- Modification of Conditions
- Revision of Approved Plans
- Renewal of Entitlement
- Plan Approval subsequent to Main Conditional Use

- Clarification of Q (Qualified) Condition
- Clarification of D (Development) Limitation
- Amendment to T (Tentative) Classification

For purposes of environmental (CEQA) analysis, is there intent to develop a larger project? YES NO

Have you filed, or is there intent to file, a Subdivision with this project? YES NO

If YES, to either of the above, describe the other parts of the projects or the larger project below, whether or not currently filed with the City: _____

5. RELATED DOCUMENTS / REFERRALS

To help assigned staff coordinate with other Departments that may have a role in the proposed project, please provide a copy of any applicable form and reference number if known.

Specialized Requirement Form N/A

Geographic Project Planning Referral X

Case Consultation Referral Form N/A

Redevelopment Project Area – Administrative Review and Referral Form N/A

HPOZ Authorization Form N/A

Affordable Housing Referral Form N/A

Transit Oriented Communities Referral Form N/A

Preliminary Zoning Assessment Referral Form (Plan Check #) N/A

Housing Development Project determination (PZA Sec. II) N/A

Optional HCA Vesting Preliminary Application N/A

Unpermitted Dwelling Unit (UDU) Inter-Agency Referral Form N/A

Mello Form N/A

Citywide Design Guidelines Compliance Review Form N/A

GPA Initiation Request Form N/A

Expedite Fee Agreement N/A

Department of Transportation (DOT) Referral Form N/A

Bureau of Engineering (BOE) Planning Case Referral Form (PCRF) N/A

Hillside Referral Form (BOE) X

Building Permits and Certificates of Occupancy X

Order to Comply X

Low Impact Development (LID) Referral Form (Stormwater Mitigation) N/A

Replacement Unit Determination (LAHD) N/A

Are there any recorded Covenants, affidavits or easements on this property? YES (provide copy) NO

PROJECT TEAM INFORMATION (Complete all applicable fields)

Applicant⁵ name ZHASMEN TAGMAZYAN
Company/Firm _____
Address: 9604 HILLHAVEN AVE Unit/Space Number _____
City TUJUNGA State CA Zip Code: 91042
Telephone _____ E-mail: _____
Are you in escrow to purchase the subject property? YES NO

Property Owner of Record Same as applicant Different from applicant
Name (if different from applicant) _____
Address _____ Unit/Space Number _____
City _____ State _____ Zip Code: _____
Telephone _____ E-mail: _____

Agent/Representative name VARDAN KASEMYAN
Company/Firm SEC DEVELOPMENT
Address: 600 W BROADWAY Unit/Space Number STE 350
City GLENDALE State CA Zip: 91204
Telephone (818) 935-1171 E-mail: VARDAN@SECDEVELOPMENT.NET

Other (Specify Architect, Engineer, CEQA Consultant etc.) _____
Name _____
Company/Firm _____
Address: _____ Unit/Space Number _____
City _____ State _____ Zip Code: _____
Telephone _____ E-mail: _____

Primary Contact for Project Information Owner Applicant
(select only one) Agent/Representative Other

To ensure notification of any public hearing as well as decisions on the project, make sure to include an individual mailing label for each member of the project team in both the Property Owners List and the Abutting Property Owners List.

⁵ An applicant is a person with a lasting interest in the completed project such as the property owner or a lessee/user of a project. An applicant is not someone filing the case on behalf of a client (i.e. usually not the agent/representative).

PROPERTY OWNER

7. **PROPERTY OWNER AFFIDAVIT.** Before the application can be accepted, the owner of each property involved must provide a notarized signature to verify the application is being filed with their knowledge. Staff will confirm ownership based on the records of the City Engineer or County Assessor. In the case of partnerships, corporations, LLCs or trusts an officer of the ownership entity so authorized may sign as stipulated below.

- **Ownership Disclosure.** If the property is owned by a partnership, corporation, LLC, or trust, a disclosure identifying an officer of the ownership entity must be submitted. The disclosure must list the names and addresses of the principal owners (25% interest or greater). The signatory must appear in this list of names. A letter of authorization, as described below, may be submitted provided the signatory of the letter is included in the Ownership Disclosure. Include a copy of the current partnership agreement, corporate articles, or trust document as applicable.
- **Letter of Authorization (LOA).** A LOA from a property owner granting someone else permission to sign the application form may be provided if the property is owned by a partnership, corporation, LLC, or trust or in rare circumstances when an individual property owner is unable to sign the application form. To be considered for acceptance, the LOA must indicate the name of the person being authorized the file, their relationship to the owner or project, the site address, a general description of the type of application being filed and must also include the language in items A-D below. In the case of partnerships, corporations, LLCs or trusts the LOA must be signed and notarized by the authorized signatory as shown on the Ownership Disclosure or in the case of private ownership by the property owner. Proof of Ownership for the signatory of the LOA must be submitted with said letter.
- **Grant Deed.** Provide a Copy of the Grant Deed If the ownership of the property does not match City Records and/or if the application is for a Coastal Development Permit. The Deed must correspond exactly with the ownership listed on the application.
- **Multiple Owners.** If the property is owned by more than one individual (e.g., John and Jane Doe or Mary Smith and Mark Jones) notarized signatures are required of all owners.

- a. I hereby certify that I am the owner of record of the herein previously described property located in the City of Los Angeles which is involved in this application or have been empowered to sign as the owner on behalf of a partnership, corporation, LLC, or trust as evidenced by the documents attached hereto.
- b. I hereby consent to the filing of this application on my property for processing by the Department of City Planning.
- c. I understand if the application is approved, as a part of the process the City will apply conditions of approval which may be my responsibility to satisfy including, but not limited to, recording the decision and all conditions in the County Deed Records for the property.
- d. By my signature below, I declare under penalty of perjury under the laws of the State of California that the foregoing statements are true and correct.

*Property Owner's signatures must be signed/notarized in the presence of a Notary Public.
The City requires an original signature from the property owner with the "wet" notary stamp.
A Notary Acknowledgement is available for your convenience on following page.*

Signature



Date

2/24/2023

Print Name

ZHASMEN TAGMAZYAN

Signature

Date

Print Name

Space Below for Notary's Use

California All-Purpose Acknowledgement

Civil Code ' 1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document, to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

County of Los Angeles

On Feb. 24, 2023 before me, G. KESHISHYAN, Notary Public
(Insert Name of Notary Public and Title)

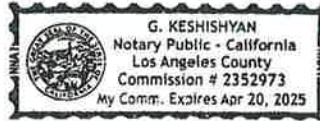
personally appeared Mezuzhan Margaryan and Zhasmen Tegmazyan who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf on which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

G. Keshishyan
Signature

(Seal)



APPLICANT

8. **APPLICANT DECLARATION.** A separate signature from the applicant, whether they are the property owner or not, attesting to the following, is required before the application can be accepted.
- a. I hereby certify that the information provided in this application, including plans and other attachments, is accurate and correct to the best of my knowledge. Furthermore, should the stated information be found false or insufficient to fulfill the requirements of the Department of City Planning, I agree to revise the information as appropriate.
 - b. I hereby certify that I have fully informed the City of the nature of the project for purposes of the California Environmental Quality Act (CEQA) and have not submitted this application with the intention of segmenting a larger project in violation of CEQA. I understand that should the City determine that the project is part of a larger project for purposes of CEQA, the City may revoke any approvals and/or stay any subsequent entitlements or permits (including certificates of occupancy) until a full and complete CEQA analysis is reviewed and appropriate CEQA clearance is adopted or certified.
 - c. I understand that the environmental review associated with this application is preliminary, and that after further evaluation, additional reports, studies, applications and/or fees may be required.
 - d. I understand and agree that any report, study, map or other information submitted to the City in furtherance of this application will be treated by the City as public records which may be reviewed by any person and if requested, that a copy will be provided by the City to any person upon the payment of its direct costs of duplication.
 - e. I understand that the burden of proof to substantiate the request is the responsibility of the applicant. Additionally, I understand that planning staff are not permitted to assist the applicant or opponents of the project in preparing arguments for or against a request.
 - f. I understand that there is no guarantee, expressed or implied, that any permit or application will be granted. I understand that each matter must be carefully evaluated and that the resulting recommendation or decision may be contrary to a position taken or implied in any preliminary discussions.
 - g. I understand that if this application is denied, there is no refund of fees paid.
 - i. I understand and agree to defend, indemnify, and hold harmless, the City, its officers, agents, employees, and volunteers (collectively "City"), from any and all legal actions, claims, or proceedings (including administrative or alternative dispute resolution (collectively "actions"), arising out of any City process or approval prompted by this Action, either in whole or in part. Such actions include but are not limited to: actions to attack, set aside, void, or otherwise modify, an entitlement approval, environmental review, or subsequent permit decision; actions for personal or property damage; actions based on an allegation of an unlawful pattern and practice; inverse condemnation actions; and civil rights or an action based on the protected status of the petitioner or claimant under state or federal law (e.g. ADA or Unruh Act). I understand and agree to reimburse the City for any and all costs incurred in defense of such actions. This includes, but it not limited to, the payment of all court costs and attorneys' fees, all judgments or awards, damages, and settlement costs. The indemnity language in this paragraph is intended to be interpreted to the broadest extent permitted by law and shall be in addition to any other indemnification language agreed to by the applicant.
 - i. By my signature below, I declare under penalty of perjury, under the laws of the State of California, that all statements contained in this application and any accompanying documents are true and correct, with full knowledge that all statements made in this application are subject to investigation and that any false or dishonest answer to any question may be grounds for denial or subsequent revocation of license or permit.

The City requires an original signature from the applicant. The applicant's signature below does not need to be notarized.

Signature:



Date:

4/26/2023

Print Name:

ZHASMEN TAGMAZYAN

**OPTIONAL
NEIGHBORHOOD CONTACT SHEET**

9. **SIGNATURES** of adjoining or neighboring property owners in support of the request are not required but are helpful, especially for projects in single-family residential areas. Signatures may be provided below (attach additional sheets if necessary).

NAME (PRINT)	SIGNATURE	ADDRESS	KEY # ON MAP

REVIEW of the project by the applicable Neighborhood Council is not required but is helpful. If applicable, describe, below or separately, any contact you have had with the Neighborhood Council or other community groups, business associations and/or officials in the area surrounding the project site (attach additional sheets if necessary).



December 12, 2022

PLAN CHECK: B22VN16932

ADDRESS: 9604 HILLHAVEN AVE

Findings

The Director shall grant a Project Permit Compliance upon written findings that the project satisfies each of the following requirements:

- a) That the project substantially complies with the applicable regulations, findings, standards and provisions of the specific plan; and
 - b) That the project incorporates mitigation measures, monitoring measures when necessary, or alternatives identified in the environmental review which would mitigate the negative environmental effects of the project, to the extent physically feasible.
-
- a) The projects' specific plan area is the San Gabriel/Verdugo Mountains Scenic Preservation. The project substantially complies with the applicable regulations, findings, standards, and provisions of the specific plan.
 - b) The project incorporates stormwater mitigation measures. LID standards will be met.

Parking Analysis

Please refer to sheet A1 (SITE PLAN) to see all parking information. Per the Certificate of Occupancy, the use of the existing land is as a single family residence.

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April 27, 2023

PLAN CHECK: B22VN16932

ADDRESS: 9604 HILLHAVEN AVE

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Findings for ZAD

The Director shall grant a Project Permit Compliance upon written findings that the project satisfies each of the following requirements:

1. Describe how the proposed project will enhance the built environment in the surrounding neighborhood or how it will perform a function or provide a service that is essential or beneficial to the community, city, or region; and
2. Explain why the project's location, size, height, operations and other significant features (provide specifics) will be compatible with and will not adversely affect or further degrade adjacent properties, the surrounding neighborhood or the public health, welfare and safety; and
3. Explain why the project substantially conforms with the purpose, intent/objectives and provisions of the General Plan, the applicable community plan and any applicable specific plan (Plans can be viewed at <http://planning.lacity.org>); and
4. Explain why the proposed use is in conformity with the public necessity, convenience, general welfare and good zoning practice.

1. The proposed project is a 433 SF addition to the main house, which will increase the overall square footage of the house. The addition to an existing single-family dwelling will maintain the City's housing supply and enhance the built environment. This will raise the value of the property and, in turn, benefit the surrounding neighborhood and the owner. The addition will include a new laundry room, which previously did not exist in the existing house. This will serve as a convenience function for the owner. The proposed project gives the owner the opportunity to provide the necessary space and amenities which will improve comfort and functionality.
2. The project site is located within the Sunland - Tujunga - Lake View Terrace - Shadow Hills - East La Tuna Canyon Community Plan area on the corner of Hillhaven Ave and Alene Dr. The proposed project is simply a 433 SF addition to the main house, which will not adversely affect or further degrade any of the surrounding properties. The addition will simply add to an already existing residence in order to enhance the property in question for personal usage. A laundry room, previously missing from the existing house, and a closet will be added, in addition to enlarging of the kitchen. The 5'-9" setback from the property line and height of the new areas are compatible with the surrounding properties, as well as with the currently existing house.

3. The proposed project meets the definition of a project as defined in the San Gabriel/Verdugo Mountains Scenic Preservation Specific Plan. It is an addition to a building or structure within the Plan area. The General Plan Land Use is designated as Very Low II Residential. The project meets height, setback, and all other requirements.

4. Building an addition of this size to an existing house does not go against any rules. The addition meets all the setback and other requirements. The addition is necessary to improve convenience and functionality for the owner's personal usage.

Street Access:

1. Explain why the vehicular traffic associated with the Building or Structure will not create an adverse impact on Street access or circulation in the surrounding neighborhood; and:
2. Explain why the Building or Structure will not be materially detrimental or injurious to the adjacent property or improvements; and
3. Explain why the Building or Structure will not have a materially adverse safety impact on the surrounding neighborhood; and
4. Describe which site and/or existing improvements make strict adherence to Section 12.21 C.10 (i) of the Code impractical or infeasible, and explain why.

1. Improving the continuous paved roadway of Hillhaven Ave could potentially result in the demolition of existing walls, structures, buildings, fences, and other improvements along the street on all other private properties and within the public right-of-way. It would not make sense to meet the strict application of the code due to the potential negative impacts that could be generated. The existing garage and driveway will remain intact. Therefore, no impacts will be made on street access or circulation in the surrounding neighborhood. Access to the subject property will still be from Hillhaven Ave.

2. Compliance with the regulation to provide vehicular access from the lot to the boundary of the Hillside Area on streets continuously improved to a minimum of 20 feet wide would require removal of structures and improvements not under the applicant's ownership. Granting of the deviation from the regulation would prevent detrimental or injurious impacts to the adjacent properties or improvements. Even with the proposed addition, the single-family dwelling will remain compatible in size and height with the adjacent properties and the project will be conditioned to comply with the San Gabriel/Verdugo Mountains Scenic Preservation Specific Plan. The proposed project will fit with the character of the surrounding community as a very low-density residential development and will adhere to the regulations, except for the infeasible request to improve the roadway, which would involve the unfair demolishing of improvements in the public right-of-way or front yard setback on other properties.

3. Not improving the continuous paved roadway would maintain the road as it has always been. Therefore, there would be no adverse impact in keeping it the way it already exists. The proposed project involves an addition in the back of the existing house, which is not visible from the public right-of-way and has no impact on the surrounding neighborhood.

4. The applicant cannot improve the continuous paved roadway, as it would cost hundreds of thousands of dollars. The applicant would need rights to other people's properties in order to strictly adhere to the code. This would be impractical or infeasible. The financial and legal burden on the applicant to bear the cost associated with purchasing or obtaining rights to demolish improvements belonging to the lots located along the route, and the construction of the retaining walls and the roadway, would render the addition to the single-family project infeasible.

Zoning Administrator Determination (ZAD): SINGLE-FAMILY ZONES IN HILLSIDE AREA

RELATED CODE SECTIONS: Section 12.24 X.28 of the Los Angeles Municipal Code (LAMC) authorizes applications for specific deviations from Section 12.21 C.10, which establishes development standards for lots in the R1, RS, RE, and RA Zones located in a Hillside Area.

PUBLIC HEARING AND NOTICE: Notification of a public hearing for a ZAD includes owners of all properties abutting the subject site as well as on-site posting of the notice. Refer to the *Mailing Procedures (CP-2074)* and *On-Site Posting (CP-7762)* handouts for further instructions.

SPECIALIZED REQUIREMENTS: When filing an application for the above, the following items are required in addition to those specified in the *Master Filing Instructions (form CP-7810)*:

1. **Slope Analysis Map:** A Slope Analysis Map prepared, stamped and signed by a registered civil engineer or licensed land surveyor. If the project is located within a specific plan area, consult with the assigned planner to confirm whether or not this item is required. The Department's current assignment list can be found under Planning Contacts at <http://planning.lacity.org>.
2. **Preliminary Hillside Referral Form:** A copy of a *Preliminary Referral Form for Hillside Ordinance* obtained from the Bureau of Engineering (BOE) Highway Dedication counter.
3. **Plot Plan:** A Plot/Site Plan of the subject property (including all contiguously owned parcels) which additionally shows the location and use of structures on adjacent properties. If the BOE referral form indicates a street dedication on the site, that dedication must be shown on the plot/site plan. Measure setbacks from the dedication line rather than the existing property line. (Note: The dedication requirement may trigger the need for additional relief such as a reduced front yard or revocable permit; be sure to check the details of your request.) Refer to the *Plot Plan Instructions (CP-7752)* for further requirements.
4. **Elevations:** Exterior elevations if the request involves an increase in permitted height or reduction of required yards. After initial filing, assigned City Planning staff may require elevations as needed to illustrate and communicate the details of any case. Refer to the *Elevation Instructions (CP-7817)* for further requirements.

REQUESTED ACTION(S): (check all of the following items that you are requesting)

- | | |
|---|--|
| <input type="checkbox"/> - Reduced front yard | <input type="checkbox"/> - Grading more than the permitted maximum |
| <input type="checkbox"/> - Reduced side yard(s) | <input type="checkbox"/> - Exporting more earth than permitted |
| <input type="checkbox"/> - Increased height | <input type="checkbox"/> - Reduced off-street parking |
| <input type="checkbox"/> - Increased lot coverage | <input checked="" type="checkbox"/> - Lot fronts on a street improved to less than 20 feet wide |
| <input type="checkbox"/> - Addition to structure existing prior to 8/1/2010 | <input checked="" type="checkbox"/> - Vehicular access from the lot to the boundary of the Hillside Area is not on streets continuously improved to a minimum of 20 feet wide. |

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FINDINGS FOR APPROVAL: In order to approve an application, the decision maker must decide if the facts presented in the record are such to establish the following findings (i.e. criteria for approval). On a separate page copy each finding, and provide a detailed justification/explanation of how the proposed project conforms with the required finding.

Findings Established by Code Sections 12.24 E and 12.24 X.28: All applications must include the following four findings. Your response to each finding should clearly discuss each requested action.

1. Describe how the proposed project will enhance the built environment in the surrounding neighborhood or how it will perform a function or provide a service that is essential or beneficial to the community, city, or region; and
2. Explain why the project's location, size, height, operations and other significant features (provide specifics) will be compatible with and will not adversely affect or further degrade adjacent properties, the surrounding neighborhood or the public health, welfare and safety; and
3. Explain why the project substantially conforms with the purpose, intent/objectives and provisions of the General Plan, the applicable community plan and any applicable specific plan (Plans can be viewed at <http://planning.lacity.org>); and
4. Explain why the proposed use is in conformity with the public necessity, convenience, general welfare and good zoning practice.

Additional Findings Established by Code Section 12.24 X 28: Each of the following requests requires further findings for approval. Include the applicable finding(s) separately for every item checked in the previous REQUESTED ACTION(S) section.

- **Setbacks** – For projects fronting on a Substandard Hillside Limited Street applying to reduce the minimum front **and/or** side yards required by Section 12.21 C.10 (a), but which would not result in side yards of less than four feet: (Discuss each yard, if relevant, separately in your response.)
 1. Explain why the reduction in yards will not be materially detrimental to the public welfare or injurious to the adjacent property or improvements.
- **Additions to Structures Existing Prior to August 1, 2010** – For applications to add to an existing one-family dwelling for which permits were obtained before August 1, 2010, and which exceed the requirements of Section 12.21 C.
 1. Describe how the increase in Residential Floor Area will result in a Building or Structure which is compatible in scale with existing structures in the vicinity; and
 2. Explain why the approval is necessary for the preservation and enjoyment of a substantial property right possessed by other property in the vicinity.

- **Height** – For applications to exceed the maximum envelope height requirements specified in Section 12.21 C.10 (d), but would not result in a project that exceeds 45 feet:
 1. Explain why the increase in height will result in a Building or Structure which is compatible in scale with existing Structures in the vicinity; and
 2. Explain why the approval is necessary for the preservation and enjoyment of a substantial property right possessed by other property in the area.

- **Lot Coverage** – For applications to increase the maximum Lot coverage permitted by Section 12.21 C.10 (e), but which would not result in a project which exceeds 50% lot coverage:
 1. Explain why the increased Lot coverage will result in a development which is compatible in size and scale with other improvements in the immediate neighborhood; and
 2. Explain why the increased Lot coverage will not result in a loss of privacy or access to light enjoyed by adjacent properties.

- **Grading** – For applications to grade more than the permitted maximum **and/or** asking to import or export more earth than is permitted by Section 12.21 C.10 (f) (1) or (2) (address each circumstance, separately in your response as applicable):
 1. Describe in what way the grading for the proposed project will be done in accordance with the Department of City Planning - Planning Guidelines, Landform Grading Manual (adopted by the City Council in June 1983; available under Forms & Processes at <http://planning.lacity.org>); explain how the grading will be used to reflect original landform and result in minimal disturbance to natural terrain; and
 2. Explain why the increase in the maximum quantity of earth to be imported or exported from the site will not lead to the significant alteration of the existing natural terrain; and
 3. Describe the method to be used to haul earth, and explain the reasons that manner will not significantly affect the existing conditions of the Street improvements and traffic of the Streets along the haul route; and
 4. Explain how the potentially significant impacts to the public health, safety and welfare of the surrounding community, associated with the import or export of earth, will be mitigated to the fullest extent feasible.

- **Off-street Parking** – For projects asking to reduce the number of off-street parking spaces which are required by Section 12.21 C.10 (g) (2):
 1. Explain why a reduction of the off-street parking requirements will not create an adverse impact on Street access or circulation in the surrounding neighborhood; and
 2. Explain why a reduction of the required off-street parking will not be materially detrimental or injurious to the property or improvements in the vicinity in which the lot is located.

- **Street Access** – For projects on a Lot where the adjacent minimum roadway width does not meet the minimum requirements of Section 12.21 C.10 (i) (2) **and/or** the continuous paved roadway to the boundary of the Hillside Area does not meet minimum requirements of Section 12.21 C.10 (i) (3) (address each circumstance separately in your response, as applicable):
 1. Explain why the vehicular traffic associated with the Building or Structure will not create an adverse impact on Street access or circulation in the surrounding neighborhood; and
 2. Explain why the Building or Structure will not be materially detrimental or injurious to the adjacent property or improvements; and
 3. Explain why the Building or Structure will not have a materially adverse safety impact on the surrounding neighborhood; and
 4. Describe which site and/or existing improvements make strict adherence to Section 12.21 C.10 (i) of the Code impractical or infeasible, and explain why.

APPLICATIONS



TREE DISCLOSURE STATEMENT

Los Angeles Municipal Code (LAMC) Section 46.00 requires disclosure and protection of certain trees located on private and public property, and that they be shown on submitted and approved site plans. Any discretionary application that includes changes to the building footprint, including demolition or grading permit applications, shall provide a Tree Disclosure Statement completed and signed by the Property Owner.

If there are any protected trees or protected shrubs on the project site and/or any trees within the adjacent public right-of-way that may be impacted or removed as a result of the project, a Tree Report ([CP-4068](#)) will be required, and the field visit must be conducted by a qualified Tree Expert, prepared and conducted within the last 12 months.

Property Address: 9604 N HILLHAVEN AVE, TUJUNGA, CA 91042

Date of Field Visit: 03/28/23

Does the property contain any of the following protected trees or shrubs?

LA-2023-3187

Yes (Mark any that apply below)

- Oak, including Valley Oak (*Quercus lobota*) and California Live Oak (*Quercus agrifolia*) or any other tree of the oak genus indigenous to California, but excluding the Scrub Oak
- Southern California Black Walnut (*Juglans californica*)
- Western Sycamore (*Platanus racemosa*)
- California Bay (*Umbellularia californica*)
- Mexican Elderberry (*Sambucus mexicana*)
- Toyon (*Heteromeles arbutifolia*)

No

Does the property contain any street trees in the adjacent public right-of-way?

Yes **No**

Does the project occur within the Mt. Washington/Glassell Park Specific Plan Area and contain any trees 12 inches or more diameter at 4.5 feet above average natural grade at base of tree and/or is more than 35 feet in height?

Yes **No**

Does the project occur within the Coastal Zone and contain any of the following trees?

Yes (Mark any that apply below)

- Blue Gum Eucalyptus (*Eucalyptus globulus*)
- Red River Gum Eucalyptus (*Eucalyptus camaldulensis*)
- Other Eucalyptus species

No

Tree Expert Credentials (if applicable)

Name of Tree Expert: JAMES KOMEN

Mark which of the following qualifications apply:

- Certified arborist with the International Society of Arboriculture who holds a license as an agricultural pest control advisor
- Certified arborist with the International Society of Arboriculture who is a licensed landscape architect
- Registered consulting arborist with the American Society of Consulting Arborists

Certification/License No.: BCMA WE-9909B RCA #555

Owner's Declaration

I acknowledge and understand that knowingly or negligently providing false or misleading information in response to this disclosure requirement constitutes a violation of the Los Angeles Municipal Code Section 46.00, which can lead to criminal and/or civil legal action. I certify that the information provided on this form relating to the project site and any of the above biological resources is accurate to the best of my knowledge.

Name of the Owner (Print) MERUZHAN MARGARYAN

Owner Signature *Meruzhan Margaryan*

Date 04/17/23

**DEPARTMENT OF BUILDING AND SAFETY/PUBLIC WORKS
PRELIMINARY REFERRAL FORM FOR
BASELINE HILLSIDE ORDINANCE NO. 181,624 AND HILLSIDE ORDINANCE No. 174,652**

Building and Safety

Address 9604 N HILLHAVEN AVE **District map** 201A199 **APN** 2563036022
Tract TR 6701 **Block** **Lot** 42

Public Works:

Street designations: Standard vs., Substandard Hillside Limited (for all the streets, public or private, abutting or adjacent to the lot(s)) (LAMC 12.21A17(e)(1)) or LAMC 12.21C10(i)(1))

Street Name (1) HILLHAVEN AVE
R/W width 40' **Roadway width:** <20' **Plan Index** AERIAL

Lot fronts on a standard hillside limited street (R/W ≥ 36' AND Rdwy ≥ 28')
 Lot fronts on a substandard hillside limited street Dedication required? No Yes - width _____

Street Name (2) _____
R/W width _____ **Roadway width:** _____ **Plan Index** _____

Lot fronts on a standard hillside limited street (R/W ≥ 36' AND Rdwy ≥ 28')
 Lot fronts on a substandard hillside limited street Dedication required? No Yes - width _____

Street Name (3) _____
R/W width _____ **Roadway width:** _____ **Plan Index** _____

Lot fronts on a standard hillside limited street (R/W ≥ 36' AND Rdwy ≥ 28')
 Lot fronts on a substandard hillside limited street Dedication required? No Yes - width _____

Vehicular Access:

- Is the **Continuous Paved Roadway (CPR)*** at least 28 feet wide from the driveway apron of the subject lot to the boundary of the Hillside Area? Yes No
- Do **any** of the streets listed in the **Street designations** section have a roadway width of less than 20 feet adjacent to the lot(s)? (LAMC 12.21A17(e)(2) or LAMC 12.21.C10(i)(2))
 Yes— A Zoning Administrator Determination (ZAD) is required per 12.24X21 or 12.24X28** OR the roadway shall be widened to a minimum 20 foot width via a Public Works construction permit
 No
- Is the **CPR** at least **20** feet wide from the driveway apron of the subject lot to the boundary of the Hillside Area? (LAMC 12.21A17(e)(3) or LAMC 12.21.C10(i)(3))
 Yes
 No – A Zoning Administrator Determination (ZAD) is required per 12.24X21 or 12.24X28** OR the roadway shall be widened to a minimum 20 foot width throughout via a Public Works construction permit

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*CPR – begins at the driveway apron and must be continuous and without obstacles to the boundary of the Hillside Area

Sewer Connection: (LAMC 12.21.A17(g) or LAMC 12.21.C10(j))

Lot located within 200 feet of available sewer mainline:

Use existing wye and permit Obtain new connection and new permit
 Use existing wye and obtain new permit Construct mainline (B permit from BOE)

Lot located greater than 200 feet from an available sewer mainline:

Obtain LADBS approval for onsite sewer Construct mainline (B permit from BOE)

Public Works Employee signing form:

PAGE 1 of 2

Sign _____

Print name Jose Duarte

Date: 12/14/2022

Phone _____

Location _____

**DEPARTMENT OF BUILDING AND SAFETY/PUBLIC WORKS
PRELIMINARY REFERRAL FORM FOR
BASELINE HILLSIDE ORDINANCE NO. 181,624 AND HILLSIDE ORDINANCE No. 174,652**

****IMPORTANT:** If a ZAD is required as a result of a CPR having a width of less than 20 feet, typically a BOE investigation and report is not required.

If a ZAD is required for lot(s) that are abutting street(s) with roadway width(s) of less than 20 feet, a formal investigation and engineering report **WILL BE REQUIRED**. The engineering report will be provided after submittal of all documentation and payment of fees. Measurements and statements contained herein may be adjusted in the engineering report.

Applicants subject to a ZAD as listed above are advised to submit the following documents and pay the BOE investigation fee to either the BOE Valley District Office Public Counter at 6262 Van Nuys Blvd, Rm. 251 Van Nuys CA 91401 or BOE Land Development Group Public Counter at 201 N. Figueroa St, Ste. 1150, Los Angeles, CA 90012

1. BOE investigation fee. (check made payable to the City of Los Angeles) (Per LAMC 62.106)
2. Two (2) copies of the Planning Master Land Use Application.
3. Two (2) copies of the project site plan.
4. Two (2) copies of the radius map.
5. Picture of the existing building, sidewalk, curb, and gutter.

Due to the possible implications that dedications and improvements may have on the development of a project, applicants that do not pay the BOE investigation fee for the preparation of a detailed engineering report may have their application placed on hold until such information is provided. Questions and concerns regarding the engineering report may be presented at the hearing.

The typical BOE standard improvement requirement is: Construct a minimum 20 foot wide roadway with a 14 foot half roadway and 4 foot sidewalk adjacent to the property within a minimum 18 foot half right of way. Sidewalk easement may be required to make driveway apron ADA compliant.

Applicants wishing to complete public improvements required in lieu of applying for a ZAD for relief from minimum street access requirements are advised to contact the B permit section of the BOE district in which the property is located to discuss requirements for public street improvements or deviations from the standard improvement requirement.

Central: 201 N Figueroa St, Ste. 770, Los Angeles CA, 90012

Harbor 608 Harbor Blvd 4th floor, San Pedro, CA 90731

Valley 6262 Van Nuys Blvd, Rm. 351, Van Nuys, CA 91401

West LA: 1828 Sawtelle Blvd, 3rd floor, West Los Angeles CA 90025

REFERRAL FORM



GEOGRAPHIC PROJECT PLANNING REFERRAL

Any case filing application submitted to Los Angeles City Planning for a project which is subject to one or more of the following Overlays shall include a completed and signed Geographic Project Planning Referral Form (Referral Form). An [Assignment List](#) can be found on the City Planning website at <http://planning.lacity.org> under the "About" tab.

APPLICABLE OVERLAYS

- Specific Plan
- Community Design Overlay (CDO)
- Neighborhood Oriented District (NOD)
- Community Plan Implementation Ordinance (CPIO)
- Design Review Board (DRB)
- Pedestrian Oriented District (POD)
- Sign District (SN)

LA-2023-3187

Review of the application by Project Planning Staff is intended to identify the level of review required for the project and to provide the Applicant with early notification of any issues with regards to requested actions or the adequacy of application exhibits/materials pursuant to the applicable Geographic Overlay, which could subsequently delay processing.

City Planning reserves the right to require an updated Referral Form for the project if more than **180 days** has lapsed from the date of the signature provided by the Project Planner, or as necessary to reflect project modifications, policy changes and/or amendments to the Los Angeles Municipal Code (LAMC), local laws, and State laws.

THIS SECTION TO BE COMPLETED BY APPLICANT

Project Site Address: 9604 HILLHAVEN AVE, TUJUNGA, CA 91042

Community Plan Area: SUNLAND - TUJUNGA - LAKE VIEW TERRACE - SHADOW HILLS - EAST LA TUNA CANYON

Specific Plan, DRB, CDO, POD, NOD, CPIO, or SN, including Subarea, if applicable: SAN GABRIEL/VERDUGO MOUNTAINS SCENIC PRESERVATION

PROJECT TYPE (check all that apply)

- New Construction
- Addition
- Renovation
- Grading
- Change of Use
- Signage
- Other _____

Description of Proposed Project: _____

(N) 433 SF ADDITION TO THE MAIN HOUSE

THIS SECTION TO BE COMPLETED BY PLANNING STAFF ONLY

AUTHORIZATION TO FILE (check all that apply)

Specific Plan/SN

Project Permit

Minor (3 signs or less or change of use)

Standard (More than 3 signs, wireless equipment, or additions of less than 200 sq. ft.)

Single-Family

Major (All other projects)

Single-Family

Modification **Interpretation** **Adjustment** **Administrative Clearance**

Exception **Amendment** **Sign-Off Only** **Not a Project**

SB 9 - ADM Case Required

Design Review Board (DRB)

Preliminary Review

Final Review

CDO/POD/NOD

Design Overlay Plan Approval

Minor (3 signs or less or change of use)

Standard (More than 3 signs, wireless equipment, or additions of less than 200 sq. ft.)

Major (All other projects)

Sign-Off Only

Not a Project

SB 9 - ADM Case Required

Community Plan Implementation Overlay (CPIO)

Administrative Clearance (Multiple Approvals)

CPIO Adjustment (CPIOA)

CPIO Exception (CPIOE)

Potentially Historic Resource

SB 9 - ADM Case Required

Streetscape Plan

Consultation Completed

Not a Project or N/A under Streetscape Plan: _____

ENVIRONMENTAL CLEARANCE

Not Determined

Categorical Exemption (CE)

Environmental Assessment Form (EAF)

Class 32 CE

Existing ENV Case Number: _____

ENV Addendum Case Number: _____

Other: _____

PUBLIC NOTICING

Public Hearing Required (BTC Required)

Mailing of Letter of Determination

BTC Required

BTC Not Required

See Mailing Procedures Instructions ([CP-2074](#)) for applicable requirements.

NOTES:

Site has protected trees. Applicant to provide site plan that includes the trees.

Note: Materials and plans have not been checked for full compliance with LAMC or Los Angeles Building Code. A signed Referral Form does not constitute approval of entitlements or the plans submitted at the time of case filing.

Project Planning Signature: Cecilia Castillo Digitally signed by Cecilia Castillo
Date: 2023.04.13 15:37:42 -07'00'

Print Name: Cecilia Castillo

Phone Number: (818) 374-9906

Date: April 13, 2023

INSTRUCTIONS

1. **APPOINTMENTS.** A pre-filing appointment with the planner assigned to the applicable Overlay is required to complete this Referral Form. Please be advised that to file the application, a case filing appointment must be made separately with the Development Services Centers via the City Planning website. Please check the [Development Services](#) page for current protocols.
2. **REVIEW MATERIALS.** Please provide the following materials:
 - a. Project Planning Referral Form with items in the Project Summary Section completed.
 - b. A complete copy of all application materials, as specified in the Department of City Planning Filing Instructions ([CP-7810](#)) (e.g., DCP Application Form, Project Plans, Site Photographs).
 - c. Specialized Requirements/Findings pertinent to your project.
3. **OTHER APPLICABLE APPROVALS.** This Referral Form is not intended to provide an exhaustive list of required entitlements. The City of Los Angeles offers several services to assist in identifying required entitlements and if there are any other issues or necessary approvals associated with the project/site which should be resolved prior to filing, including [DSC Case Management](#) and/or [Preliminary Plan Check](#) with the Los Angeles Department of Building and Safety (LADBS).

CITY PLANNING OFFICE LOCATIONS

DOWNTOWN OFFICES	VALLEY OFFICES	WEST LA OFFICES
DSC Metro Counter Figueroa Plaza 201 N Figueroa Street, 4th Floor Los Angeles, CA 90012	DSC Valley Counter Marvin Braude Building 6262 Van Nuys Blvd, Suite 251 Van Nuys, CA 91401	DSC West Los Angeles Counter 1828 Sawtelle Blvd, 2nd Floor Los Angeles, CA 90025
Major Projects Figueroa Plaza 221 N Figueroa St, Rm 1350 Los Angeles, CA 90012	Valley Project Planning Offices Marvin Braude Building 6262 Van Nuys Blvd, Suite 430 Van Nuys, CA 91401	
Central Project Planning Offices Los Angeles City Hall 200 N Spring Street, Room 621 Los Angeles, CA 90012		
West/South/Harbor Project Planning Offices Los Angeles City Hall 200 N Spring Street, Room 720 Los Angeles, CA 90012		

PROJECT SITE:
9604 HILLHAVEN AVE
TUJUNGA, CA 91042

8



ZA-2023-3187

SITE PHOTOGRAPHS KEY MAP:



1 PHOTO 1



2 PHOTO 2



PHOTO 3

3



PHOTO 4

4



PHOTO 5

5



PHOTO 6

6



PHOTO 7

7



PHOTO 8

8

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KAREN BASS
MAYOR

DEPARTMENT OF
BUILDING AND SAFETY
201 NORTH FIGUEROA STREET
LOS ANGELES, CA 90012

OSAMA YOUNAN, P.E.
GENERAL MANAGER
SUPERINTENDENT OF BUILDING

JOHN WEIGHT
EXECUTIVE OFFICER

NOTICE OF CODE VIOLATION

MARGARYAN, MERUZHAN
9604 HILLHAVEN AVENUE
TUJUNGA, CA 91042

CASE #: 903180
NOTICE #: A-5473706
DATE OF NOTICE: April 26, 2021
COMPLIANCE DATE: May 26, 2021

OF
SITE ADDRESS: 9604 N HILLHAVEN AVE
ASSESSORS PARCEL NO.: 2563-036-022
ZONE: RE11; Min. Lot 11,000 Sq. Ft.

The Department of Building and Safety received a complaint alleging that the property located at (Site address) is in violation of the Los Angeles Municipal Code (L.A.M.C). A subsequent physical inspection revealed that the property in fact is in violation of the section(s) listed below. As the Property Owner of record, you are hereby required to 1) repair and correct the violation(s) listed below and 2) contact the inspector listed in the signature block at the end of this document for a compliance inspection by the compliance date listed above.

Failure to comply with this notice by the due date shown above may result in further action including assessment of a fee.

VIOLATION(S):

1. Construction work is being performed without the required permits.

You are therefore ordered to: 1) Stop all work being performed without the required permit(s).
2) Obtain all required permits and approvals prior to commencing any work.

Code Section(s) in Violation: 91.104.2.4, 91.106.1.1, 93.0310.(a), 94.102.2.2 and 95.106.4 of the L.A.M.C.

Location: Entire property

2. Grading was performed without first obtaining a permit.

You are therefore ordered to: Obtain all required grading permits and approvals for the retaining wall(s).

Code Section(s) in Violation: 91.8105, 91.103.1, 93.0104, 94.103.1.1, 95.112.1, 91.5R106.1.1, 91.5R106.1.2, 91.5R108.4, 91.5R106.3.2, 91.5R103.1, 12.21A.1. (a), 7005.7 of the L.A.M.C.

Location: Rear yard

Comments: All masonry block wall(s) over 3.5 feet and All retaining wall(s) require grading pre inspection and plans submitted to plan check.

3. Grading was performed without first obtaining a permit.

You are therefore ordered to: Obtain all required grading permits and approvals for the remodel of the pool and pool decking.

ZA-2023-3187

As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities.



CODE ENFORCEMENT BUREAU
For routine City business and non-emergency services: Call 3-1-1
www.ladbs.org

Code Section(s) in Violation: 91.106.1.2, 91.103.1, 12.21A.1.(a) of the L.A.M.C.

Location: Rear yard

4. The remodel of the pool is constructed without the required permits and approvals.

You are therefore ordered to: 1) Demolish and remove all construction work performed without the required permit(s).
2) Restore the existing approved/permitted structure to its original condition if it was altered in any way, OR 3) Submit plans, obtain the required permits and expose the work for proper inspections.

Code Section(s) in Violation: 93.0104, 94.103.1.1, 95.112.1, 91.8105, 91.5R106.1.1, 91.5R106.1.2, 91.5R108.4, 91.5R106.3.2, 91.5R103.1, 12.21A.1. (a) of the L.A.M.C.

Location: Rear yard

Comments: Obtain permit(s) for the complete scope of work, including but not limited to: Building, Plumbing, Electrical and HVAC without the benefit of permit(s) or approvals.

5. The remodel of the single family dwelling is constructed without the required permits and approvals.

You are therefore ordered to: 1) Demolish and remove all construction work performed without the required permit(s).
2) Restore the existing approved/permitted structure to its original condition if it was altered in any way, OR 3) Submit plans, obtain the required permits and expose the work for proper inspections.

Code Section(s) in Violation: 93.0104, 94.103.1.1, 95.112.1, 91.8105, 91.5R106.1.1, 91.5R106.1.2, 91.5R108.4, 91.5R106.3.2, 91.5R103.1, 12.21A.1. (a) of the L.A.M.C.

Location: Interior of entire single family dwelling

Comments: Obtain permit(s) for the complete scope of work, including but not limited to: Building, Plumbing, Electrical and HVAC without the benefit of permit(s) or approvals.

6. The approximate 10'x 25' construction of an addition to the southside of dwelling is constructed without the required permits and approvals.

You are therefore ordered to: 1) Demolish and remove all construction work performed without the required permit(s).
2) Restore the existing approved/permitted structure to its original condition if it was altered in any way, OR 3) Submit plans, obtain the required permits and expose the work for proper inspections.

Code Section(s) in Violation: 93.0104, 94.103.1.1, 95.112.1, 91.8105, 91.5R106.1.1, 91.5R106.1.2, 91.5R108.4, 91.5R106.3.2, 91.5R103.1, 12.21A.1. (a) of the L.A.M.C.

Location: Southside of single family dwelling

Comments: Obtain permit(s) for the complete scope of work, including but not limited to: Building, Plumbing, Electrical and HVAC without the benefit of permit(s) or approvals.

7. Retaining and foundation wall(s).

You are therefore ordered to: 1) Provide plans and specifications and obtain required grading and building permits. 2) Maintain all protective devices as shown on the approved plans and specifications submitted with the application for a permit. 3) Demolish and remove unapproved retaining or foundation wall.

Code Section(s) in Violation: 91.5R404.2, 91.5R103.1, 12.21A.1(a) of the L.A.M.C.

As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities.



CODE ENFORCEMENT BUREAU
For routine City business and non-emergency services: Call 3-1-1
www.ladbs.org

Location: Rear yard

8. A permit is required for masonry or concrete fences over 3.5 ft. high.

You are therefore ordered to: Obtain proper permit for the masonry or concrete fence over 3.5 feet high or lower the fence to not exceed 3.5 feet at any point of the fence.

Code Section(s) in Violation: 91.106.2#13, 91.103.1, 12.21A.1.(a) of the L.A.M.C.

Location: Rear yard

9. Electrical permit required.

You are therefore ordered to: Remove all electrical wiring and equipment which was installed without the required permits and return the electrical system to its original approved condition.

OR

Obtain the required electrical permit, expose concealed work and call for required inspections.

Code Section(s) in Violation: 93.0201, 93.0104, 12.21A.1.(a) of the L.A.M.C.

Location: Pool in rear yard

Comments: Permit must include equipment bonding and deck bonding around new decking.

10. Plumbing permit is required for the pool.

You are therefore ordered to: 1) Obtain the required plumbing permit for the pool.

Code Section(s) in Violation: 94.103.1.1, 12.21A.1.(a) of the L.A.M.C.

Location: rear yard

Any Questions regarding this Notice and compliance matters, contact the inspector noted below at (818)374-9861. Office hours are 7:00 a.m. to 3:30 p.m. Monday through Thursday.

March 23, 2021

JASON BRANNON
14410 SYLVAN STREET SUITE 105
VAN NUYS, CA 91401
(818)374-9861
jason.brannon@lacity.org

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LOS ANGELES, CA 90012

OSAMA YOUNAN, P.E.
GENERAL MANAGER
SUPERINTENDENT OF BUILDING

JOHN WEIGHT
EXECUTIVE OFFICER

ORDER TO COMPLY AND NOTICE OF FEE

TAGMAZYAN,ZHASMEN
9604 HILLHAVEN AVE
TUJUNGA, CA 91042

CASE #: 903180
ORDER #: A-5510709
EFFECTIVE DATE: June 04, 2021
COMPLIANCE DATE: July 04, 2021

OWNER OF
SITE ADDRESS: 9604 N HILLHAVEN AVE
ASSESSORS PARCEL NO.: 2563-036-022
ZONE: RE11; Min. Lot 11,000 Sq. Ft.

An inspection has revealed that the property (Site Address) listed above is in violation of the Los Angeles Municipal Code (L.A.M.C.) sections listed below. You are hereby ordered to correct the violation(s) and contact the inspector listed in the signature block at the end of this document for a compliance inspection by the compliance date listed above.

FURTHER, THE CODE VIOLATION INSPECTION FEE (C.V.I.F) OF \$ 356.16 (\$336 fee plus a six percent Systems Development Surcharge of \$20.16) WILL BE BILLED TO THE PROPERTY OWNER. The invoice/notice will be sent to the owner as it appears on the last equalized assessment roll. Section 98.0421 L.A.M.C.

NOTE: FAILURE TO PAY THE C.V.I.F. WITHIN 30 DAYS OF THE INVOICE DATE OF THE BILL NOTED ABOVE WILL RESULT IN A LATE CHARGE OF TWO (2) TIMES THE C.V.I.F. PLUS A 50 PERCENT COLLECTION FEE FOR A TOTAL OF \$1,176.00. Any person who fails to pay the fee, late charge and collection fee, shall also pay interest. Interest shall be calculated at the rate of one percent per month.

The inspection has revealed that the property is in violation of the Los Angeles Municipal Code as follows:

VIOLATION(S):

ZA-2023-3187

1. Construction work is being performed without the required permits.

You are therefore ordered to: 1) Stop all work being performed without the required permit(s).
2) Obtain all required permits and approvals prior to commencing any work.

Code Section(s) in Violation: 91.104.2.4, 91.106.1.1, 93.0310.(a), 94.102.2.2 and 95.106.4 of the L.A.M.C.

Location: Entire property

2. Grading was performed without first obtaining a permit.

You are therefore ordered to: Obtain all required grading permits and approvals for the retaining wall(s).

Code Section(s) in Violation: 91.8105, 91.103.1, 93.0104, 94.103.1.1, 95.112.1, 91.5R106.1.1, 91.5R106.1.2, 91.5R108.4, 91.5R106.3.2, 91.5R103.1, 12.21A.1. (a), 7005.7 of the L.A.M.C.

Location: Rear yard

Comments: All masonry block wall(s) over 3.5 feet and All retaining wall(s) require grading pre

As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities.



CODE ENFORCEMENT BUREAU
For routine City business and non-emergency services: Call 3-1-1
www.ladbs.org

inspection and plans submitted to plan check.

3. Grading was performed without first obtaining a permit.

You are therefore ordered to: Obtain all required grading permits and approvals for the remodel of the pool and pool decking.

Code Section(s) in Violation: 91.106.1.2, 91.103.1, 12.21A.1.(a) of the L.A.M.C.

Location: Rear yard

4. The remodel of the pool is constructed without the required permits and approvals.

You are therefore ordered to: 1) Demolish and remove all construction work performed without the required permit(s).
2) Restore the existing approved/permitted structure to its original condition if it was altered in any way, OR 3) Submit plans, obtain the required permits and expose the work for proper inspections.

Code Section(s) in Violation: 93.0104, 94.103.1.1, 95.112.1, 91.8105, 91.5R106.1.1, 91.5R106.1.2, 91.5R108.4, 91.5R106.3.2, 91.5R103.1, 12.21A.1. (a) of the L.A.M.C.

Location: Rear yard

Comments: Obtain permit(s) for the complete scope of work, including but not limited to: Building, Plumbing, Electrical and HVAC without the benefit of permit(s) or approvals.

5. The remodel of the single family dwelling is constructed without the required permits and approvals.

You are therefore ordered to: 1) Demolish and remove all construction work performed without the required permit(s).
2) Restore the existing approved/permitted structure to its original condition if it was altered in any way, OR 3) Submit plans, obtain the required permits and expose the work for proper inspections.

Code Section(s) in Violation: 93.0104, 94.103.1.1, 95.112.1, 91.8105, 91.5R106.1.1, 91.5R106.1.2, 91.5R108.4, 91.5R106.3.2, 91.5R103.1, 12.21A.1. (a) of the L.A.M.C.

Location: Interior of entire single family dwelling

Comments: Obtain permit(s) for the complete scope of work, including but not limited to: Building, Plumbing, Electrical and HVAC without the benefit of permit(s) or approvals.

6. The approximate 10'x 25' construction of an addition to the southside of dwelling is constructed without the required permits and approvals.

You are therefore ordered to: 1) Demolish and remove all construction work performed without the required permit(s).
2) Restore the existing approved/permitted structure to its original condition if it was altered in any way, OR 3) Submit plans, obtain the required permits and expose the work for proper inspections.

Code Section(s) in Violation: 93.0104, 94.103.1.1, 95.112.1, 91.8105, 91.5R106.1.1, 91.5R106.1.2, 91.5R108.4, 91.5R106.3.2, 91.5R103.1, 12.21A.1. (a) of the L.A.M.C.

Location: Southside of single family dwelling

Comments: Obtain permit(s) for the complete scope of work, including but not limited to: Building, Plumbing, Electrical and HVAC without the benefit of permit(s) or approvals.

7. Retaining and foundation wall(s).

As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities.



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www.ladbs.org

You are therefore ordered to: 1) Provide plans and specifications and obtain required grading and building permits. 2) Maintain all protective devices as shown on the approved plans and specifications submitted with the application for a permit. 3) Demolish and remove unapproved retaining or foundation wall.

Code Section(s) in Violation: 91.5R404.2, 91.5R103.1, 12.21A.1(a) of the L.A.M.C.

Location: Rear yard

8. A permit is required for masonry or concrete fences over 3.5 ft. high.

You are therefore ordered to: Obtain proper permit for the masonry or concrete fence over 3.5 feet high or lower the fence to not exceed 3.5 feet at any point of the fence.

Code Section(s) in Violation: 91.106.2#13, 91.103.1, 12.21A.1.(a) of the L.A.M.C.

Location: Rear yard

9. Electrical permit required.

You are therefore ordered to: Remove all electrical wiring and equipment which was installed without the required permits and return the electrical system to its original approved condition.

OR

Obtain the required electrical permit, expose concealed work and call for required inspections.

Code Section(s) in Violation: 93.0201, 93.0104, 12.21A.1.(a) of the L.A.M.C.

Location: Pool in rear yard

Comments: Permit must include equipment bonding and deck bonding around new decking.

10. Plumbing permit is required for the pool.

You are therefore ordered to: 1) Obtain the required plumbing permit for the pool.

Code Section(s) in Violation: 94.103.1.1, 12.21A.1.(a) of the L.A.M.C.

Location: rear yard

NON-COMPLIANCE FEE WARNING:

YOU ARE IN VIOLATION OF THE L.A.M.C. IT IS YOUR RESPONSIBILITY TO CORRECT THE VIOLATION(S) AND CONTACT THE INSPECTOR LISTED BELOW TO ARRANGE FOR A COMPLIANCE INSPECTION BEFORE THE NON-COMPLIANCE FEE IS IMPOSED. Failure to correct the violations and arrange for the compliance inspection within 15 days from the Compliance Date, will result in imposition of the fee noted below.

In addition to the C.V.I.F. noted above, a proposed noncompliance fee in the amount of **\$660.00** may be imposed for failure to comply with the order within 15 days after the compliance date specified in the order or unless an appeal or request for slight modification is filed within 15 days of the compliance date.

If an appeal or request for slight modification is not filed within 15 days of the compliance date or extensions granted therefrom, the determination of the department to impose and collect a non-compliance fee shall be final. Section 98.0411 L.A.M.C.

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NOTE: FAILURE TO PAY THE NON-COMPLIANCE FEE WITHIN 30 DAYS AFTER THE DATE OF MAILING THE INVOICE, MAY RESULT IN A LATE CHARGE OF TWO (2) TIMES THE NON-COMPLIANCE FEE PLUS A 50 PERCENT COLLECTION FEE FOR A TOTAL OF **\$2,310.00.**

Any person who fails to pay the non-compliance fee, late charge and collection fee shall also pay interest. Interest shall be calculated at the rate of one percent per month.

PENALTY WARNING:

Any person who violates or causes or permits another person to violate any provision of the Los Angeles Municipal Code (L.A.M.C.) is guilty of a misdemeanor which is punishable by a fine of not more than \$1000.00 and/or six (6) months imprisonment for each violation. Section 11.00 (m) L.A.M.C.

INVESTIGATION FEE REQUIRED:

Whenever any work has been commenced without authorization by a permit or application for inspection, and which violates provisions of Articles 1 through 8 of Chapter IX of the Los Angeles Municipal Code (L.A.M.C.) , and if no order has been issued by the department or a court of law requiring said work to proceed, a special investigation fee which shall be double the amount charged for an application for inspection, license or permit fee, but not less than \$400.00 , shall be collected on each permit, license or application for inspection. Section 98.0402 (a) L.A.M.C.

APPEAL PROCEDURES:

There is an appeal procedure established in this city whereby the Department of Building and Safety and the Board of Building and Safety Commissioners have the authority to hear and determine err or abuse of discretion, or requests for slight modification of the requirements contained in this order when appropriate fees have been paid. Section 98.0403.1 and 98.0403.2 L.A.M.C.

Any questions regarding invoices or how to pay fees should be directed to financial services at (213) 482-6890.
Any questions regarding the order to comply and compliance matters contact the inspector noted below at (818)374-9861.
Office hours are 7:00 a.m. to 3:30 p.m. Monday through Thursday.

Inspector: _____

Date: May 26, 2021

JASON BRANNON
14410 SYLVAN STREET SUITE 105
VAN NUYS, CA 91401
(818)374-9861
jason.brannon@lacity.org

REVIEWED BY

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BOARD OF
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MAYOR

DEPARTMENT OF
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201 NORTH FIGUEROA STREET
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OSAMA YOUNAN, P.E.
GENERAL MANAGER
SUPERINTENDENT OF BUILDING

JOHN WEIGHT
EXECUTIVE OFFICER

SUBSTANDARD ORDER-SUPPLEMENTAL

TAGMAZYAN,ZHASMEN
9604 HILLHAVEN AVE
TUJUNGA, CA 91042

CASE #: 903180
ORDER #: A-5551277
EFFECTIVE DATE: July 09, 2022
COMPLIANCE DATE: August 08, 2022

OWNER OF
SITE ADDRESS: 9604 N HILLHAVEN AVE
ASSESSORS PARCEL NO.: 2563-036-022
ZONE: RE11; Min. Lot 11,000 Sq. Ft.

An inspection has revealed that the property (Site Address) listed above is in violation of the Los Angeles Municipal Code (L.A.M.C.) sections listed below. You are hereby ordered to correct the violation(s) and contact the inspector listed in the signature block at the end of this document for a compliance inspection by the compliance date listed above.

The inspection has revealed that the property is in violation of the Los Angeles Municipal Code as follows:

This order is a supplement to any and all preceding orders issued by the Department of Building and Safety relative to the case number noted above. You are hereby required to comply with the terms of this and all preceding orders.

As a result of an inspection of the property (Site Address) listed above, this office has determined the building(s) to be SUBSTANDARD as pursuant to the provisions of Division 89 of Article 1 of Chapter IX of the Los Angeles Municipal Code (L.A.M.C.). You are therefore ordered to secure all required permits and begin the necessary work to eliminate the following code violations within 30 days from the effective date of this order. All necessary work shall be completed within 90 days from the effective date of this order. If the necessary permits are not obtained or the required work is not physically commenced within 45 days from the effective date of this order, the Department of Building and Safety may order the owner to cause the building(s) to be vacated.

VIOLATION(S):

ZA-2023-3187

0. STOP ALL WORK..Construction work is being performed without the required permits.

You are therefore ordered to: 1) Stop all work being performed without the required permit(s).
2) Obtain all required permits and approvals prior to commencing any work.

Code Section(s) in Violation: 91.104.2.4, 91.106.1.1, 93.0310.(a), 94.102.2.2 and 95.106.4 of the L.A.M.C.

Location: Entire property

0. The approximate 6x15 addition with balcony to rear of single family dwelling is constructed without the required permits and approvals.

You are therefore ordered to: 1) Demolish and remove all construction work performed without the required permit(s).
2) Restore the existing structure(s) to its originally approved condition, OR 3) Submit plans, obtain the required permits and expose the work for proper inspections.

Code Section(s) in Violation: 93.0104, 94.103.1.1, 95.112.1, 91.8105, 91.5R106.1.1, 91.5R106.1.2, 91.5R108.4,

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www.ladbs.org

91.5R106.3.2, 91.5R103.1, 12.21A.1. (a) of the L.A.M.C.

Location: Rear of single family dwelling

Comments: Obtain permit(s) for the complete scope of work, including but not limited to: Building, Plumbing, Electrical and HVAC without the benefit of permit(s) or approvals.

0. A permit is required for the exterior work performed. Not limited to the replacement of windows, doors and waterproofing.

You are therefore ordered to: Obtain all required building permits.

Code Section(s) in Violation: 91.106.1.1, 91.103.1, 12.21A.1.(a) of the L.A.M.C.

Location: Entire single family dwelling

Comments: Obtain permit(s) for the complete scope of work, including but not limited to: Building, Plumbing, Electrical and HVAC without the benefit of permit(s) or approvals.

0. A permit is required for masonry or concrete fences over 3.5 ft. high.

You are therefore ordered to: Obtain proper permit for the masonry or concrete fence over 3.5 feet high or lower the fence to not exceed 3.5 feet at any point of the fence.

Code Section(s) in Violation: 91.106.2#13, 91.103.1, 12.21A.1.(a) of the L.A.M.C.

Location: Northside of single family dwelling at grade

1. The building or premises is Substandard due to inadequate and unapproved foundations.

You are therefore ordered to: Obtain all required permit(s) for the foundation(s) and footings

Code Section(s) in Violation: 91.8902.2 #1, 91.5R403.1, 91.5R403.1.2, 91.5R403.1.3, 91.5R403.1.3.1, 91.103.1, 91.5R103.1, 12.21A.1(a) of the L.A.M.C.

Location: Rear of single family dwelling

Comments: The addition to the single family dwelling and covered patio/ deck at th rear of the single family dwelling constructed without permits and approvals.

2. The building or premises is Substandard due to hazardous electrical wiring.

You are therefore ordered to: Obtain required permits and make the electrical wiring comply with all provisions of the L.A.M.C.

Code Section(s) in Violation: 91.8902.4, 91.8902, 91.103.1, 12.21A.1.(a) of the L.A.M.C.

Location: Entire single family dwelling and unpermitted additions

3. The approx 40'X 30'covered pation/ deck at the rear of the single family dwelling has been constructed without the required permit(s) and approvals.

You are therefore ordered to: Obtain all required permit(s) for the foundation/ footings, roofs, ceiling and roof supports or other horizontal members.

Code Section(s) in Violation: 91.8902.2 #6, 91.5R801.2, 91.5R802.1, 91.5R802.1.3.5, Table 91.5R802.4(1), 91.103.1, 91.5R103.1, 12.21A.1(a) of the L.A.M.C.

Location: Rear of single family dwelling

As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities.

NOTE: A certificate has been filed with the County Recorder noting the above substandard condition.

NON-COMPLIANCE FEE WARNING:

YOU ARE IN VIOLATION OF THE L.A.M.C. IT IS YOUR RESPONSIBILITY TO CORRECT THE VIOLATION(S) AND CONTACT THE INSPECTOR LISTED BELOW TO ARRANGE FOR A COMPLIANCE INSPECTION BEFORE THE NON-COMPLIANCE FEE IS IMPOSED. Failure to correct the violations and arrange for the compliance inspection within 15 days from the Compliance Date, will result in imposition of the fee noted below.

A proposed noncompliance fee in the amount of **\$660.00** may be imposed for failure to comply with the order within 15 days after the compliance date specified in the order or unless an appeal or request for slight modification is filed within 15 days of the compliance date.

If an appeal or request for slight modification is not filed within 15 days of the compliance date or extensions granted therefrom, the determination of the department to impose and collect a non-compliance fee shall be final. Section 98.0411 L.A.M.C.

NOTE: FAILURE TO PAY THE NON-COMPLIANCE FEE WITHIN 30 DAYS AFTER THE DATE OF MAILING THE INVOICE, MAY RESULT IN A LATE CHARGE OF TWO (2) TIMES THE NON-COMPLIANCE FEE PLUS A 50 PERCENT COLLECTION FEE FOR A TOTAL OF **\$2,310.00.**

Any person who fails to pay the non-compliance fee, late charge and collection fee shall also pay interest. Interest shall be calculated at the rate of one percent per month.

PENALTY WARNING:

Any person who violates or causes or permits another person to violate any provision of the Los Angeles Municipal Code (L.A.M.C.) is guilty of a misdemeanor which is punishable by a fine of not more than \$1000.00 and/or six (6) months imprisonment for each violation. Section 11.00 (m) L.A.M.C.

INVESTIGATION FEE REQUIRED:

Whenever any work has been commenced without authorization by a permit or application for inspection, and which violates provisions of Articles 1 through 8 of Chapter IX of the Los Angeles Municipal Code (L.A.M.C.) , and if no order has been issued by the department or a court of law requiring said work to proceed, a special investigation fee which shall be double the amount charged for an application for inspection, license or permit fee, but not less than \$400.00 , shall be collected on each permit, license or application for inspection. Section 98.0402 (a) L.A.M.C.

APPEAL PROCEDURES:

There is an appeal procedure established in this city whereby the Department of Building and Safety and the Board of Building and Safety Commissioners have the authority to hear and determine err or abuse of discretion, or requests for slight modification of the requirements contained in this order when appropriate fees have been paid. Section 98.0403.1 and 98.0403.2 L.A.M.C.

NOTICE:

Relocation assistance may be required if a tenant is evicted in order to comply with an order from a governmental agency. (LAMC 151.09.A.11 & 163.00 to 163.07) For information, call the **Los Angeles Housing Department (LAHD)** at (213) 808-8888 or go to: <http://lahd.lacity.org>

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www.ladbs.org

Any questions regarding invoices or how to pay fees should be directed to financial services at (213) 482-6890.
Any questions regarding the order to comply and compliance matters contact the inspector noted below at (818)374-9861.
Office hours are 7:00 a.m. to 3:30 p.m. Monday through Thursday.

Inspector: _____

Date: August 03, 2021

JASON BRANNON
14410 SYLVAN STREET SUITE 105
VAN NUYS, CA 91401
(818)374-9861
jason.brannon@lacity.org

REVIEWED BY

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CITY OF LOS ANGELES
CALIFORNIA



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MAYOR

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201 NORTH FIGUEROA STREET
LOS ANGELES, CA 90012

OSAMA YOUNAN, P.E.
GENERAL MANAGER
SUPERINTENDENT OF BUILDING

JOHN WEIGHT
EXECUTIVE OFFICER

ORDER TO COMPLY-SUPPLEMENTAL

MARGARYAN, MERUZHAN
9604 HILLHAVEN AVENUE
TUJUNGA, CA 91042

CASE #: 903180
ORDER #: A-5526770
EFFECTIVE DATE: July 01, 2021
COMPLIANCE DATE: July 16, 2021

OF
SITE ADDRESS: 9604 N HILLHAVEN AVE
ASSESSORS PARCEL NO.: 2563-036-022
ZONE: RE11; Min. Lot 11,000 Sq. Ft.

ZA-2023-3187

An inspection has revealed that the property (Site Address) listed above is in violation of the Los Angeles Municipal Code (L.A.M.C.) sections listed below. You are hereby ordered to correct the violation(s) and contact the inspector listed in the signature block at the end of this document for a compliance inspection by the compliance date listed above.

The inspection has revealed that the property is in violation of the Los Angeles Municipal Code as follows:
This order is a supplement to any and all preceding orders issued by the Department of Building and Safety relative to the case number noted above. You are hereby required to comply with the terms of this and all preceding orders.

Further investigation of the property (Site Address) listed above has revealed that there are additional violations of the Los Angeles Municipal Code (L.A.M.C.). Following is a current list of violations:

VIOLATION(S):

1. STOP ALL WORK..Construction work is being performed without the required permits.

You are therefore ordered to: 1) Stop all work being performed without the required permit(s).
2) Obtain all required permits and approvals prior to commencing any work.

Code Section(s) in Violation: 91.104.2.4, 91.106.1.1, 93.0310.(a), 94.102.2.2 and 95.106.4 of the L.A.M.C.

Location: Entire property

2. The approximate 6x15 addition with balcony to rear of single family dwelling is constructed without the required permits and approvals.

You are therefore ordered to: 1) Demolish and remove all construction work performed without the required permit(s).
2) Restore the existing structure(s) to its originally approved condition, OR 3) Submit plans, obtain the required permits and expose the work for proper inspections.

Code Section(s) in Violation: 93.0104, 94.103.1.1, 95.112.1, 91.8105, 91.5R106.1.1, 91.5R106.1.2, 91.5R108.4, 91.5R106.3.2, 91.5R103.1, 12.21A.1. (a) of the L.A.M.C.

Location: Rear of single family dwelling

Comments: Obtain permit(s) for the complete scope of work, including but not limited to: Building, Plumbing, Electrical and HVAC without the benefit of permit(s) or approvals.

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www.ladbs.org

3. A permit is required for the exterior work performed. Not limited to the replacement of windows, doors and waterproofing.

You are therefore ordered to: Obtain all required building permits.

Code Section(s) in Violation: 91.106.1.1, 91.103.1, 12.21A.1.(a) of the L.A.M.C.

Location: Entire single family dwelling

Comments: Obtain permit(s) for the complete scope of work, including but not limited to: Building, Plumbing, Electrical and HVAC without the benefit of permit(s) or approvals.

4. A permit is required for masonry or concrete fences over 3.5 ft. high.

You are therefore ordered to: Obtain proper permit for the masonry or concrete fence over 3.5 feet high or lower the fence to not exceed 3.5 feet at any point of the fence.

Code Section(s) in Violation: 91.106.2#13, 91.103.1, 12.21A.1.(a) of the L.A.M.C.

Location: Northside of single family dwelling at grade

5. The building or premises is Substandard due to inadequate and unapproved foundations.

You are therefore ordered to: Obtain all required permit(s) for the foundation(s) and footings

Code Section(s) in Violation: 91.8902.2 #1, 91.5R403.1, 91.5R403.1.2, 91.5R403.1.3, 91.5R403.1.3.1, 91.103.1, 91.5R103.1, 12.21A.1(a) of the L.A.M.C.

Location: Rear of single family dwelling

Comments: The addition to the single family dwelling and covered patio/ deck at th rear of the single family dwelling constructed without permits and approvals.

6. The building or premises is Substandard due to hazardous electrical wiring.

You are therefore ordered to: Obtain required permits and make the electrical wiring comply with all provisions of the L.A.M.C.

Code Section(s) in Violation: 91.8902.4, 91.8902, 91.103.1, 12.21A.1.(a) of the L.A.M.C.

Location: Entire single family dwelling and unpermitted additions

7. The approx 40'X 30'covered pation/ deck at the rear of the single family dwelling has been constructed without the required permit(s) and approvals.

You are therefore ordered to: Obtain all required permit(s) for the foundation/ footings, roofs, ceiling and roof supports or other horizontal members.

Code Section(s) in Violation: 91.8902.2 #6, 91.5R801.2, 91.5R802.1, 91.5R802.1.3.5, Table 91.5R802.4(1), 91.103.1, 91.5R103.1, 12.21A.1(a) of the L.A.M.C.

Location: Rear of single family dwelling

NON-COMPLIANCE FEE WARNING:

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NOTE: FAILURE TO PAY THE NON-COMPLIANCE FEE WITHIN 30 DAYS AFTER THE DATE OF MAILING THE INVOICE, MAY RESULT IN A LATE CHARGE OF TWO (2) TIMES THE NON-COMPLIANCE FEE PLUS A 50 PERCENT COLLECTION FEE FOR A TOTAL OF \$2,310.00.

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APPEAL PROCEDURES:

There is an appeal procedure established in this city whereby the Department of Building and Safety and the Board of Building and Safety Commissioners have the authority to hear and determine err or abuse of discretion, or requests for slight modification of the requirements contained in this order when appropriate fees have been paid. Section 98.0403.1 and 98.0403.2 L.A.M.C.

Any questions regarding invoices or how to pay fees should be directed to financial services at (213) 482-6890.

Any questions regarding the order to comply and compliance matters contact the inspector noted below at (818)374-9861.

Office hours are 7:00 a.m. to 3:30 p.m. Monday through Thursday.

Inspector: _____

Date: June 24, 2021

JASON BRANNON
14410 SYLVAN STREET SUITE 105
VAN NUYS, CA 91401
(818)374-9861
jason.brannon@lacity.org

REVIEWED BY

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CODE ENFORCEMENT BUREAU
For routine City business and non-emergency services: Call 3-1-1
www.ladbs.org

COVENANT AND AGREEMENT
REGARDING MAINTENANCE OF BUILDING AND USES

r/H

STATE OF CALIFORNIA) ss 7553
COUNTY OF LOS ANGELES)

That (We) John B. and Isabel M. Ormonde 20 (are) 00 (are) the owner
(Ex) of the hereinafter described real property, and that (I) _____ (are) _____ (trust or)
_____ (am) the possessor of a (grant) deed
(We are) on said real property, and that (I am) the only person having any interest in the real property described as follows:

Tract # 1202

Legal Description

which property is located and known as _____

(We) That (I) do hereby promise, covenant and agree to and with said City of Los Angeles, a Municipal Corporation, and said Superintendent of Building of said City that the above described legal will be held as one lot.

That this covenant and agreement shall run with the land and be binding upon any future owners, heirs or assigns until such time as the zoning regulations of the City of Los Angeles automatically permit the use or purpose hereinabove referred to, or until other arrangements have been made with said Superintendent of Building.

Dated: This _____ day of _____ 1956

John B. Ormonde (sign)
Isabel M. Ormonde (sign)

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) ss

2A-2023-3187

On this _____ day of January 1956 before me, the undersigned, a Notary Public in and for the said County, duly Commissioner, personally appeared

FEE 15.00
3195

John B. Ormonde
Isabel M. Ormonde

(Persons) (Names) (are) known to be the (Person) whose (Name) (is) subscribed to the foregoing instrument, and acknowledged to me that (he) (they) executed same.

NOTARY SEAL: WITNESS my hand and official seal:

John T. Ladfrey 21875
Notary Public in and for the County of Los Angeles, State of California

My Commission Expires Sept. 1, 1957

NOTARY PUBLIC
Notary for the County of Los Angeles, State of California

Recorded at the request of
and mail to:

(Name)

(Address)

COPY of Document Recorded
on OCT 18 1971 as No. 2224
Has not been compared with original.
Original will be returned when
processing has been completed.
LOS ANGELES COUNTY REGISTRAR-RECORDER

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COVENANT AND AGREEMENT TO HOLD PROPERTY AS ONE PARCEL

The undersigned hereby certify that we are the owners of the hereinafter legally described real property located in the City of Los Angeles, County of Los Angeles, State of California:

(legal description)

Lots 39-40-41-42 and 43 of Tract No. 6701 AS PER MAP

as recorded in Book 80, page 61/62 Records of Los Angeles County.

And, for the purpose of CREATE ONE BLDG SITE
(state purpose)

JOB ADDRESS: 9604 HILLHAVEN AVE TUSTUNGA CALIF

as regulated by Section 12.03 of the Los Angeles Municipal Code we do hereby covenant and agree with said City that the above legally described land shall be held as one parcel and no portion shall be sold separately.

This covenant and agreement shall run with the land and shall be binding upon ourselves, and future owners, encumbrancers, their successors, heirs, assignees and shall continue in effect until such time that the Los Angeles Municipal Code unconditionally permits the use or purpose herein above referred to or unless otherwise released by authority of the Superintendent of Building of the City of Los Angeles.

Dated: This 18th day of October 1971

Harry J. Moreau (Sign)

Nancy J. Moreau (Sign)

FOR DEPARTMENT USE ONLY

Branch Office ST

District Map 7553

B&S Aff. No. 37429

B&S B-31 R6.66

2A-2023-3187
Approved for recording
Department of Building and Safety by
J. A. [Signature]

(INDIVIDUAL)

STATE OF CALIFORNIA }
COUNTY OF LOS ANGELES } SS.

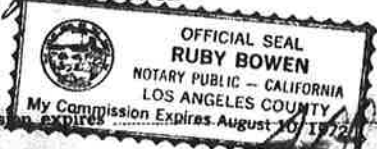
On October 18, 1971
before me, the undersigned, a Notary Public in and for said
County and State, personally appeared

Harry J. Moreau and
Nancy J. Moreau

known to me to be the person whose name is here
subscribed to the within instrument and acknowledged that
they executed the same.

WITNESS my hand and official seal.

Ruby Bowen
Ruby Bowen



My Commission expires
B&S Cov. 1

(CORPORATION)

STATE OF CALIFORNIA }
COUNTY OF LOS ANGELES } SS.

On _____
before me, the undersigned, a Notary Public in and for said
County and State, personally appeared _____,
known to me to be the _____ President,

and _____,
known to me to be _____ Secretary of
the Corporation that executed the within instrument, known
to me to be the persons who executed the within instrument
on behalf of the Corporation therein named, and acknowledged
to me that such Corporation executed the within instrument
pursuant to its by-laws or a resolution of its board of directors.

WITNESS my hand and official seal.

W.E. 10-29-71

My Commission expires

37429

This page is part of your document - DO NOT DISCARD



20161296035



Pages:
0005

Recorded/Filed in Official Records
Recorder's Office, Los Angeles County,
California

10/21/16 AT 08:00AM

FEES:	31.00
TAXES:	0.00
OTHER:	0.00
PAID:	31.00

ZA-2023-3187



LEADSHEET



201610210210007

00012815146



007888383

SEQ:
02

SECURE - 8:00AM



THIS FORM IS NOT TO BE DUPLICATED

Recording requested by
Stewart Title of California, Inc.

RECORDING REQUESTED BY:
Stewart Title of California, Inc.

WHEN RECORDED MAIL TO:
MAIL TAX STATEMENT TO:

Zhasmen Tagmazyan
9604 Hillhaven Avenue
Tujunga, CA 91042

ORDER NO. 01180-224778
ESCROW NO. 01180-224778
APN: 2553-036-022
TRA Code: 00013
Property Addr: 9604 Hillhaven Avenue, Tujunga, CA
91042

SPACE ABOVE THIS LINE FOR RECORDERS USE

INTERSPOUSAL DEED

THE UNDERSIGNED GRANTOR(S) DECLARE(S)

DOCUMENTARY TRANSFER TAX is: \$"0" - Intra-Spousal Transfer*

CITY TAX \$* 

- * Monument Preservation Fee is: \$*
- * computed on full value of property conveyed, or
- * computed on full value less value of liens or encumbrances remaining at time of sale.
- * Unincorporated area: X City of Los Angeles

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,

Arutyun Margaryan husband of the grantee

hereby **GRANT(S)** to Zhasmen Tagmazyan, a married woman as her sole and separate property

the following described real property in the City of Tujunga, County of Los Angeles, State of California:

SEE EXHIBIT "A" ATTACHED HERETO

"It is the express intent of the Grantor, being the spouse of the grantee, to convey all right, title and interest of the Grantor, community or otherwise, in and to the herein described property to the grantee as his/her sole and separate property."

"This conveyance establishes sole and separate property of a spouse, R & T 11911."

Date: October 05, 2010


Arutyun Margaryan

MAIL TAX STATEMENT AS DIRECTED ABOVE

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached and not the truthfulness, accuracy, or validity of that document.

State of California
County of Los Angeles

On October 13, 2016 before me Lori Cresswell Notary Public personally appeared Antoinette Marguerite who proved to me on the basis of satisfactory evidence to be the person(s), whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s) or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature Lori Cresswell

(seal)



ILLEGIBLE NOTARY SEAL DECLARATION (GOVERNMENT CODE 27361.7)

I certify under penalty of perjury that the notary seal on this document to which this statement is attached reads as follows:

Name of Notary: Lori Cresswell

Date Commission Expires: May 1, 2020

Principal Office (County): Los Angeles

Notary Commission Number: 2148352

Manufacturer Identification Number: NNA 1

Place of Execution of this Declaration: Riverside

Date: October 14, 2016

Stewart Title of California, Inc.

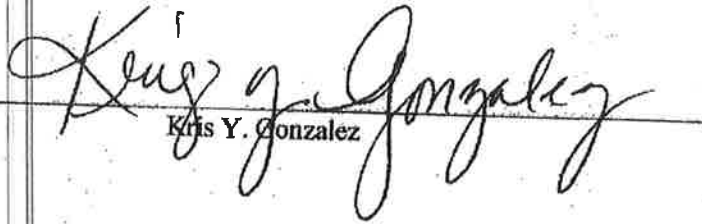

Kris Y. Gonzalez

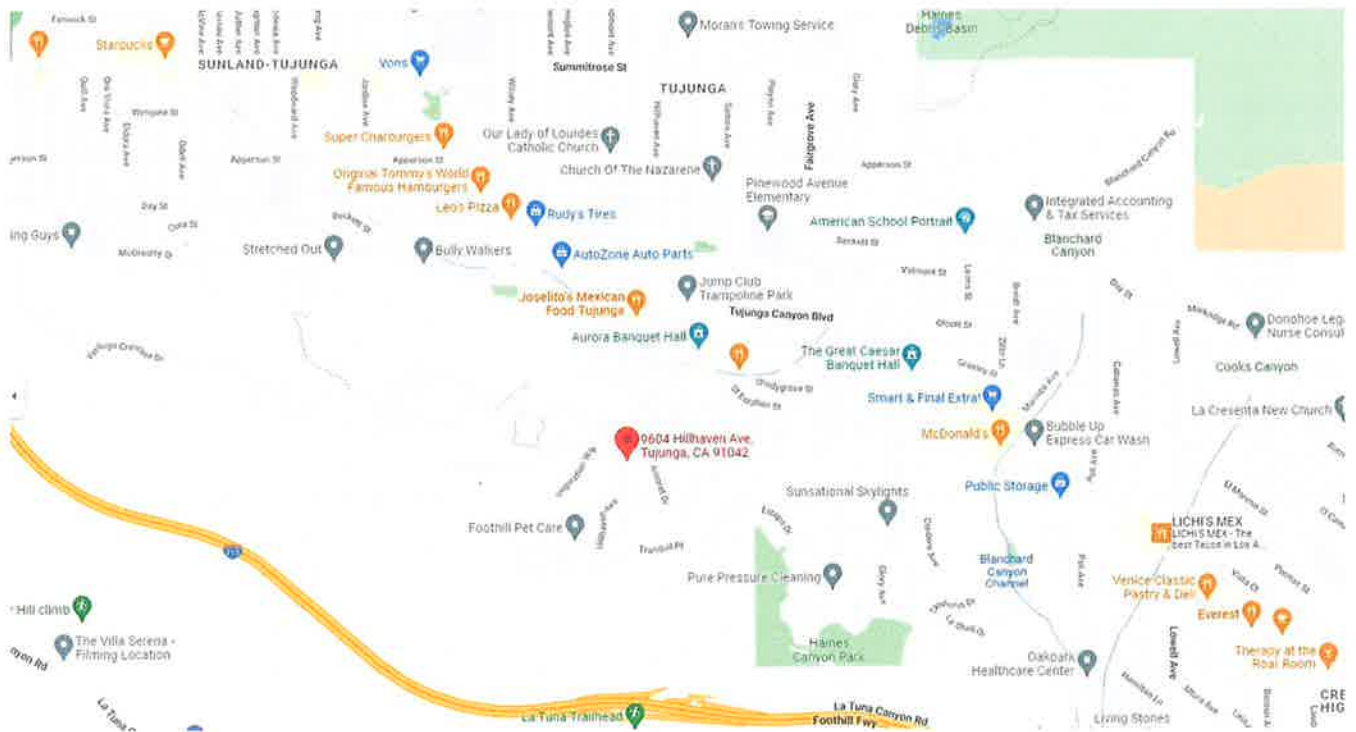
EXHIBIT "A"
LEGAL DESCRIPTION

Lot 39, 40, 41, 42 and 43 of Tract No. 6701, in the City of Los Angeles, County of Los Angeles, State of California, as per Map recorded in Book 80, Page(s) 61 and 62 of Maps, in the Office of the County Recorder of said County.

APN: 2563-036-022

Vicinity Map

9604 Hillhaven Ave



ZA-2023-3187



City of Los Angeles Department of City Planning

12/12/2022 PARCEL PROFILE REPORT

PROPERTY ADDRESSES

9604 N HILLHAVEN AVE

ZIP CODES

91042

RECENT ACTIVITY

None

CASE NUMBERS

CPC-2000-1357-SP

CPC-1986-608-GPC

ORD-175736

ORD-164330-SA3320

ORD-129279

ORD-128730

AFF-37489

AFF-21875

Address/Legal Information

PIN Number	201A199 276
Lot/Parcel Area (Calculated)	4,351.2 (sq ft)
Thomas Brothers Grid	PAGE 504 - GRID A5
Assessor Parcel No. (APN)	2563036022
Tract	TR 6701
Map Reference	M B 80-61/62
Block	None
Lot	42
Arb (Lot Cut Reference)	None
Map Sheet	201A199

Jurisdictional Information

Community Plan Area	Sunland - Tujunga - Lake View Terrace - Shadow Hills - East La Tuna Canyon
Area Planning Commission	North Valley
Neighborhood Council	Sunland-Tujunga
Council District	CD 7 - Monica Rodriguez
Census Tract #	1014.00
LADBS District Office	Van Nuys

Permitting and Zoning Compliance Information

Administrative Review	None
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Planning and Zoning Information

Special Notes	None
Zoning	RE11-1
Zoning Information (ZI)	ZI-2324 Specific Plan: San Gabriel/Verdugo Mountains Scenic Preservation ZI-2462 Modifications to SF Zones and SF Zone Hillside Area Regulations
General Plan Land Use	Very Low II Residential
General Plan Note(s)	Yes
Hillside Area (Zoning Code)	Yes
Specific Plan Area	SAN GABRIEL / VERDUGO MOUNTAINS SCENIC PRESERVATION
Subarea	None
Special Land Use / Zoning	None
Historic Preservation Review	No
Historic Preservation Overlay Zone	None
Other Historic Designations	None
Other Historic Survey Information	None
Mills Act Contract	None
CDO: Community Design Overlay	None
CPIO: Community Plan Imp. Overlay	None
Subarea	None
CUGU: Clean Up-Green Up	None
HCR: Hillside Construction Regulation	No
NSO: Neighborhood Stabilization Overlay	No
POD: Pedestrian Oriented Districts	None
RBP: Restaurant Beverage Program Eligible Area	None
RFA: Residential Floor Area District	None

ZA-2023-3187

This report is subject to the terms and conditions as set forth on the website. For more details, please refer to the terms and conditions at zimas.lacity.org
 (*) - APN Area is provided "as is" from the Los Angeles County's Public Works, Flood Control, Benefit Assessment.

RIO: River Implementation Overlay	No
SN: Sign District	No
Streetscape	No
Adaptive Reuse Incentive Area	None
Affordable Housing Linkage Fee	
Residential Market Area	Low
Non-Residential Market Area	Low
Transit Oriented Communities (TOC)	Not Eligible
RPA: Redevelopment Project Area	None
Central City Parking	No
Downtown Parking	No
Building Line	None
500 Ft School Zone	No
500 Ft Park Zone	No

Assessor Information

Assessor Parcel No. (APN)	2563036022
APN Area (Co. Public Works)*	0.494 (ac)
Use Code	0101 - Residential - Single Family Residence - Pool
Assessed Land Val.	\$602,765
Assessed Improvement Val.	\$249,873
Last Owner Change	10/21/2016
Last Sale Amount	\$693,006
Tax Rate Area	13
Deed Ref No. (City Clerk)	823173
	7-520
	7-247
	1411779
	1296035
	1296034
	1182186-7
	1055166
Building 1	
Year Built	1925
Building Class	D7A
Number of Units	1
Number of Bedrooms	4
Number of Bathrooms	3
Building Square Footage	3,397.0 (sq ft)
Building 2	No data for building 2
Building 3	No data for building 3
Building 4	No data for building 4
Building 5	No data for building 5
Rent Stabilization Ordinance (RSO)	No [APN: 2563036022]

Additional Information

Airport Hazard	None
Coastal Zone	None
Farmland	Area Not Mapped
Urban Agriculture Incentive Zone	YES
Very High Fire Hazard Severity Zone	Yes
Fire District No. 1	No
Flood Zone	Outside Flood Zone
Watercourse	No
Hazardous Waste / Border Zone Properties	No
Methane Hazard Site	None
High Wind Velocity Areas	YES

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 (*) - APN Area is provided "as is" from the Los Angeles County's Public Works, Flood Control, Benefit Assessment.

Special Grading Area (BOE Basic Grid Map A-13372) Yes

Wells None

Seismic Hazards

Active Fault Near-Source Zone

Nearest Fault (Distance in km)	Within Fault Zone
Nearest Fault (Name)	Verdugo
Region	Transverse Ranges and Los Angeles Basin
Fault Type	B
Slip Rate (mm/year)	0.50000000
Slip Geometry	Reverse
Slip Type	Unconstrained
Down Dip Width (km)	18.00000000
Rupture Top	0.00000000
Rupture Bottom	13.00000000
Dip Angle (degrees)	45.00000000
Maximum Magnitude	6.90000000

Alquist-Priolo Fault Zone No

Landslide No

Liquefaction No

Preliminary Fault Rupture Study Area No

Tsunami Inundation Zone No

Economic Development Areas

Business Improvement District None

Hubzone Not Qualified

Jobs and Economic Development Incentive Zone (JEDI) None

Opportunity Zone No

Promise Zone None

State Enterprise Zone None

Housing

Direct all Inquiries to Los Angeles Housing Department
Telephone (866) 557-7368

Website <https://housing.lacity.org>

Rent Stabilization Ordinance (RSO) No [APN: 2563036022]

Ellis Act Property No

AB 1482: Tenant Protection Act See Notes

Assessor Parcel No. (APN) 2563036022

Address 9604 HILLHAVEN AVE

Year Built 1925

Use Code 0101 - Residential - Single Family Residence - Pool

Notes The property is subject to AB 1482 if the owner is a corporation, limited liability company with a corporate member, or real estate trust. Does not apply to owner-occupied duplexes & government-subsidized housing.

Housing Crisis Act Replacement Review No

Public Safety

Police Information

Bureau Valley

Division / Station Foothill

Reporting District 1668

Fire Information

Bureau Valley

Battalion 12

District / Fire Station 74

Red Flag Restricted Parking No

CASE SUMMARIES

Note: Information for case summaries is retrieved from the Planning Department's Plan Case Tracking System (PCTS) database.

Case Number: CPC-2000-1357-SP

Required Action(s): SP-SPECIFIC PLAN (INCLUDING AMENDMENTS)

Project Descriptions(s): SAN GABRIEL/VERDUGO MOUNTAINS SCENIC PRESERVATION SPECIFIC PLAN

Case Number: CPC-1986-608-GPC

Required Action(s): GPC-GENERAL PLAN/ZONING CONSISTENCY (AB283)

Project Descriptions(s): AB-283 PROGRAM - GENERAL PLAN/ZONE CONSISTENCY - SUNLAND AREA - COMMUNITY WIDE ZONE CHANGES AND COMMUNITY PLAN CHANGES TO BRING THE ZONING INTO CONSISTENCY WITH THE COMMUNITY PLAN. INCLUDES CHANGES OF HEIGHT AS NEEDED. REQUIRED BY COURT AS PART OF SETTLEMENT IN THE HILLSIDE FEDERATION LAWSUITE WOODS/CICCARELLI

DATA NOT AVAILABLE

ORD-175736

ORD-164330-SA3320

ORD-129279

ORD-128730

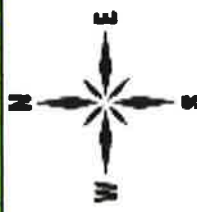
AFF-37489

AFF-21875

12/12/2022

Generalized Zoning

ZIMAS PUBLIC











Zoning: RE11-1
General Plan: Very Low II Residential

Tract: TR 6701
Block: None
Lot: 42
Arb: None

Address: 9604 N HILLHAVEN AVE
APN: 2563036022
PIN #: 201A199 276

LEGEND

GENERALIZED ZONING

-  OS, GW
-  A, RA
-  RE, RS, R1, RU, RZ, RW1
-  R2, RD, RMP, RW2, R3, RAS, R4, R5, PVSP
-  CR, C1, C1.5, C2, C4, C5, CW, WC, ADP, LASED, CEC, USC, PPSP, MU, NMU
-  CM, MR, CCS, UV, UI, UC, M1, M2, LAX, M3, SL, HJ, HR, NI
-  P, PB
-  PF

GENERAL PLAN LAND USE

LAND USE

RESIDENTIAL




-  Minimum Residential
-  Very Low / Very Low I Residential
-  Very Low II Residential
-  Low / Low I Residential
-  Low II Residential
-  Low Medium / Low Medium I Residential
-  Low Medium II Residential
-  Medium Residential
-  High Medium Residential
-  High Density Residential
-  Very High Medium Residential

COMMERCIAL






-  Limited Commercial
-  Limited Commercial - Mixed Medium Residential
-  Highway Oriented Commercial
-  Highway Oriented and Limited Commercial
-  Highway Oriented Commercial - Mixed Medium Residential
-  Neighborhood Office Commercial
-  Community Commercial
-  Community Commercial - Mixed High Residential
-  Regional Center Commercial

FRAMEWORK

COMMERCIAL

-  Neighborhood Commercial
-  General Commercial
-  Community Commercial
-  Regional Mixed Commercial






INDUSTRIAL

-  Commercial Manufacturing
-  Limited Manufacturing
-  Light Manufacturing
-  Heavy Manufacturing
-  Hybrid Industrial




PARKING

-  Parking Buffer






PORT OF LOS ANGELES

-  General / Bulk Cargo - Non Hazardous (Industrial / Commercial)
-  General / Bulk Cargo - Hazard
-  Commercial Fishing
-  Recreation and Commercial
-  Intermodal Container Transfer Facility Site



LOS ANGELES INTERNATIONAL AIRPORT

-  Airport Landside / Airport Landside Support
-  Airport Airside
-  LAX Airport Northside

OPEN SPACE / PUBLIC FACILITIES
















-  Open Space
-  Public / Open Space
-  Public / Quasi-Public Open Space
-  Other Public Open Space
-  Public Facilities

INDUSTRIAL

-  Limited Industrial
-  Light Industrial






CIRCULATION

STREET
































-  Arterial Mountain Road
-  Collector Scenic Street
-  Collector Street
-  Collector Street (Hillside)
-  Collector Street (Modified)
-  Collector Street (Proposed)
-  Country Road
-  Divided Major Highway II
-  Divided Secondary Scenic Highway
-  Local Scenic Road
-  Local Street
-  Major Highway (Modified)
-  Major Highway I
-  Major Highway II
-  Major Highway II (Modified)

-  Major Scenic Highway
-  Major Scenic Highway (Modified)
-  Major Scenic Highway II
-  Mountain Collector Street
-  Park Road
-  Parkway
-  Principal Major Highway
-  Private Street
-  Scenic Divided Major Highway II
-  Scenic Park
-  Scenic Parkway
-  Secondary Highway
-  Secondary Highway (Modified)
-  Secondary Scenic Highway
-  Special Collector Street
-  Super Major Highway

FREEWAYS

-  Freeway
-  Interchange
-  On-Ramp / Off-Ramp
-  Railroad
-  Scenic Freeway Highway

MISC. LINES

-  Airport Boundary
-  Bus Line
-  Coastal Zone Boundary
-  Coastline Boundary
-  Collector Scenic Street (Proposed)
-  Commercial Areas
-  Commercial Center
-  Community Redevelopment Project Area
-  Country Road
-  DWP Power Lines
-  Desirable Open Space
-  Detached Single Family House
-  Endangered Ridgeline
-  Equestrian and/or Hiking Trail
-  Hiking Trail
-  Historical Preservation
-  Horsekeeping Area
-  Local Street
-  MSA Desirable Open Space
-  Major Scenic Controls
-  Multi-Purpose Trail
-  Natural Resource Reserve
-  Park Road
-  Park Road (Proposed)
-  Quasi-Public
-  Rapid Transit Line
-  Residential Planned Development
-  Scenic Highway (Obsolete)
-  Secondary Scenic Controls
-  Secondary Scenic Highway (Proposed)
-  Site Boundary
-  Southern California Edison Power
-  Special Study Area
-  Specific Plan Area
-  Stagecoach Line
-  Wildlife Corridor





POINTS OF INTEREST

 Alternative Youth Hostel (Proposed)	 Horticultural Center	 Public Elementary School
 Animal Shelter	 Hospital	 Public Elementary School (Proposed)
 Area Library	 Hospital (Proposed)	 Public Golf Course
 Area Library (Proposed)	HW House of Worship	 Public Golf Course (Proposed)
 Bridge	 Important Ecological Area	 Public Housing
 Campground	 Important Ecological Area (Proposed)	 Public Housing (Proposed Expansion)
 Campground (Proposed)	 Interpretive Center (Proposed)	 Public Junior High School
 Cemetery	 Junior College	 Public Junior High School (Proposed)
HW Church	 MTA / Metrolink Station	 Public Middle School
 City Hall	 MTA Station	 Public Senior High School
 Community Center	 MTA Stop	 Public Senior High School (Proposed)
 Community Library	MWD MWD Headquarters	 Pumping Station
 Community Library (Proposed Expansion)	 Maintenance Yard	 Pumping Station (Proposed)
 Community Library (Proposed)	 Municipal Office Building	 Refuse Collection Center
 Community Park	 Municipal Parking lot	 Regional Library
 Community Park (Proposed Expansion)	 Neighborhood Park	 Regional Library (Proposed Expansion)
 Community Park (Proposed)	 Neighborhood Park (Proposed Expansion)	 Regional Library (Proposed)
 Community Transit Center	 Neighborhood Park (Proposed)	 Regional Park
 Convalescent Hospital	 Oil Collection Center	 Regional Park (Proposed)
 Correctional Facility	 Parking Enforcement	RPD Residential Plan Development
 Cultural / Historic Site (Proposed)	 Police Headquarters	 Scenic View Site
 Cultural / Historical Site	 Police Station	 Scenic View Site (Proposed)
 Cultural Arts Center	 Police Station (Proposed Expansion)	 School District Headquarters
DMV DMV Office	 Police Station (Proposed)	 School Unspecified Loc/Type (Proposed)
DWP DWP	 Police Training site	 Skill Center
 DWP Pumping Station	PO Post Office	 Social Services
 Equestrian Center	 Power Distribution Station	 Special Feature
 Fire Department Headquarters	 Power Distribution Station (Proposed)	 Special Recreation (a)
 Fire Station	 Power Receiving Station	 Special School Facility
 Fire Station (Proposed Expansion)	 Power Receiving Station (Proposed)	 Special School Facility (Proposed)
 Fire Station (Proposed)	C Private College	 Steam Plant
 Fire Supply & Maintenance	E Private Elementary School	 Surface Mining
 Fire Training Site	 Private Golf Course	 Trail & Assembly Area
 Fireboat Station	 Private Golf Course (Proposed)	 Trail & Assembly Area (Proposed)
 Health Center / Medical Facility	JH Private Junior High School	UTL Utility Yard
 Helistop	PS Private Pre-School	 Water Tank Reservoir
 Historic Monument	 Private Recreation & Cultural Facility	 Wildlife Migration Corridor
 Historical / Cultural Monument	SH Private Senior High School	 Wildlife Preserve Gate
 Horsekeeping Area	SF Private Special School	
 Horsekeeping Area (Proposed)	 Public Elementary (Proposed Expansion)	

SCHOOLS/PARKS WITH 500 FT. BUFFER

 Existing School/Park Site	 Planned School/Park Site	 Inside 500 Ft. Buffer
 Aquatic Facilities	 Other Facilities	 Opportunity School
 Beaches	 Park / Recreation Centers	 Charter School
 Child Care Centers	 Parks	 Elementary School
 Dog Parks	 Performing / Visual Arts Centers	 Span School
 Golf Course	 Recreation Centers	 Special Education School
 Historic Sites	 Senior Citizen Centers	 High School
 Horticulture/Gardens		 Middle School
 Skate Parks		 Early Education Center

COASTAL ZONE



 Coastal Commission Permit Area
 Dual Permit Jurisdiction Area
 Single Permit Jurisdiction Area
 Not in Coastal Zone

TRANSIT ORIENTED COMMUNITIES (TOC)





























 Tier 1	 Tier 3
 Tier 2	 Tier 4

Note: TOC Tier designation and map layers are for reference purposes only. Eligible projects shall demonstrate compliance with Tier eligibility standards prior to the issuance of any permits or approvals. As transit service changes, eligible TOC Incentive Areas will be updated.

WAIVER OF DEDICATION OR IMPROVEMENT

 Public Work Approval (PWA)
 Waiver of Dedication or Improvement (WDI)

OTHER SYMBOLS

 Lot Line	 Airport Hazard Zone	 Flood Zone
 Tract Line	 Census Tract	 Hazardous Waste
 Lot Cut	 Coastal Zone	 High Wind Zone
 Easement	 Council District	 Hillside Grading
 Zone Boundary	 LADBS District Office	 Historic Preservation Overlay Zone
 Building Line	 Downtown Parking	 Specific Plan Area
 Lot Split	 Fault Zone	 Very High Fire Hazard Severity Zone
 Community Driveway	 Fire District No. 1	 Wells
 Building Outlines 2014	 Tract Map	
 Building Outlines 2008	 Parcel Map	



0.04 Miles
200 Feet

LARIACS 2017 Color-Ortho

ZA-2023-3187



BIOLOGIST'S STATEMENT OF HABITAT

Senate Bill 9 (SB 9) of 2021 and SB 35 of 2017 both require that a development or subdivision proposed under the law satisfy the requirement of Government Code Section (GCS) 65913.4(a)(6)(J), that the site not be located on any parcel that is:

Habitat for protected species identified as candidate, sensitive, or species of special status by state or federal agencies, fully protected species, or species protected by the federal Endangered Species Act of 1973 (16 U.S.C. Sec. 1531 et seq.), the California Endangered Species Act (Chapter 1.5 (commencing with Section 2050) of Division 3 of the Fish and Game Code), or the Native Plant Protection Act (Chapter 10 (commencing with Section 1900) of Division 2 of the Fish and Game Code).

The preceding text refers to “**Habitat**” as used herein. While this definition calls out three lists of species by name, those three **do not constitute an exhaustive list** of species for which Habitat is excluded under SB 9. The California Department of Fish and Wildlife (CDFW), United States Fish and Wildlife Service (USFWS), and other State or federal agencies also maintain lists of candidates, sensitive, or special status species whose habitat qualifies as Habitat under this definition. Habitat does not need the current presence of a protected species to qualify as Habitat for said species.

This form is intended to determine whether a development and/or subdivision being proposed under this law is located on a parcel containing any Habitat. If at any point, it is determined by a biologist that a parcel contains Habitat, it is **not eligible** for SB 9 or SB 35. If no Habitat exists on a parcel, then the parcel **may be eligible** for SB 9 or SB 35, assuming all other criteria are met. Failure by an applicant to disclose known Habitat may disqualify a project from SB 9 or SB 35 consideration.

CEQA thresholds of significance for a significant impact to biological resources **do not apply** to an SB 9 or SB 35 Habitat determination. SB 9 and SB 35 proceedings are ministerial and, thus, CEQA thresholds are not relevant to the process. The only question for SB 9 and SB 35 pertains to the presence of any habitat fitting the definition above, or the lack thereof.

ZIMAS includes eligibility checklists for both SB 9 and SB 35, and both checklists include a question on whether the subject parcel contains Habitat for sensitive species, as defined above. If the parcel's Eligibility Checklist Result for Habitat is “**Bio Review Needed**”, then establishing whether Habitat exists on the parcel(s) requires a determination by a qualified biologist. The qualified biologist shall conduct a site visit and provide a statement in accordance with the requirements herein for the applicant to submit this **Biologist's Statement of Habitat** to Los Angeles City Planning when trying to obtain the Planning clearance for a SB 9 Two Unit Development or filing for an SB 9 Urban Lot Split or SB 35 application.

ZA-2023-3187

Biologist's Statement of Habitat

Project Site Address¹: APN # 2563-036-022 (9604 Hillhaven Ave)

Does the project site contain any oak woodlands, walnut groves, or any other potential Habitat(s)? YES NO

If Yes, check here to attest that a **Habitat Integrity Analysis** was performed on all potential Habitat in accordance with the guidance on Page 3 of this form. YES N/A

If any **Habitat Integrity Analyses** were performed, did any of the potential Habitat maintain integrity? YES NO

Does the project site contain any Habitat(s) as defined in GCS 65913.4(a)(6)(J)? YES NO

I attest that I am a Qualified Biologist who meets the following criteria:

Qualified Biologist. *A person with the appropriate education, training, and experience to conduct biological surveys, monitor Project activities that have the potential to affect biological resources, provide construction worker education programs related to the protection of biological resources, and supervise or perform other tasks related to biological resources; possesses a Bachelor of Science degree or Bachelor of Arts degree in biology, ecology, or a related environmental science; has at least five years of professional experience that requires knowledge of natural history, habitat affinities, and identification of flora and fauna species, and relevant local, state and federal laws and regulations governing the protection of biological resources; and meets the [CDFW qualifications](#)² for botanical field surveyors.*

I attest to the accuracy, to the best of my professional qualifications, of the habitat determination made above and the analysis supporting that determination.

Name of Qualified Biologist: Paulette Loubet

Signed Attestation of Qualifications and Accuracy: 

Date Signed: 4/7/2023

A Biologist's Statement with the following contents shall be attached:

- Date(s) of Site Visit(s)
- Existing Site Plan
- Literature Review, including California Natural Diversity Database (CNDDB) records of sensitive species within 500 feet of the project site

¹ If no address is available, use the Assessor's Parcel Number (APN).

² CDFW qualifications can be found here: <https://nrm.dfg.ca.gov/FileHandler.ashx?DocumentID=18959&inline>.

- Photos, Location, and Description of any on-site:
 - Native vegetation
 - Any of the trees or shrubs listed in Appendix A below
 - Any species on CDFW's Special Vascular Plants, Bryophytes, and Lichens list³ Natural water resources (streams, wetlands, etc.)
 - Fauna specimens, or evidence of wildlife nesting, foraging, or passage
 - Potential habitat areas such as rock outcroppings, caves, cliffs, thickets, etc.
- Identification of the presence of any woodlands or groves. Qualifications for a woodland or grove are a stand comprising two or more trees (greater than a 5-inch diameter at standard height) of the same species, whose sphere of influence (10 times the tree area, or approximately 3.2 times the canopy radius) have any overlap⁴.
 - Note that some oak woodlands and Southern California black walnut groves are identified by CDFW as sensitive natural communities by the California Native Plant Society (CNPS) and included on the CDFW California Natural Community List⁵, which qualifies under Section 65913.4(a)(6)(J) of the Government Code as being identified by a State agency.
- Narrative and analysis of potential habitat observed and whether it qualifies as Habitat for any sensitive species as defined in Section 65913.4(a)(6)(J) of the Government Code, including, but not limited to those found on CDFW's special and sensitive status species lists.⁶
- A Habitat Integrity Analysis of any potential habitat occurring on the project site, including, but not limited to: any woodland, grove, or other vegetative associations; any species or communities identified by CDFW as having a Global or State rarity rank of 1 – 3; other State or federal-identified species found on site; or other habitat. The Habitat Integrity Analysis must determine whether the Habitat currently or periodically contains the resources and conditions necessary to functionally support one or more life processes of the identified species. Note that SB 9 and SB 35 only require a determination on the presence of any habitat fitting the definition above, or the lack thereof. Additionally:
 - For any woodlands or groves: the Habitat Integrity Analysis must determine whether the woodland or grove is self-sustaining and can naturally regenerate on the project site.
 - The presence of a CDFW California Natural Community or Habitat for a listed species, which is shown to maintain integrity in a Habitat Integrity Analysis, disqualifies a project site from SB 9 and SB 35 consideration under Section 65913.4(a)(6)(J) of the Government Code.
- Biologist's Proof of Qualifications

The entire project site should be surveyed for flora, fauna, wildlife corridors, and water resources. The entire project site must be walked to the extent physically possible. Note if any surveying was conducted through binoculars or other methods due to terrain or trespassing issues.

³ CDFW Special Vascular Plants, Bryophytes, and Lichens List, July 2022, can be found here: <https://nrm.dfg.ca.gov/FileHandler.ashx?DocumentID=109383&inline>.

⁴ Distance to be individually calculated but less than 200 feet apart.

⁵ CDFW California Natural Community List, July 2022, can be found here: <https://nrm.dfg.ca.gov/FileHandler.ashx?DocumentID=153398&inline>.

⁶ Including but not limited to CDFW's Special Animals List, July 2022, which can be found here: <https://nrm.dfg.ca.gov/FileHandler.ashx?DocumentID=109406&inline>.

Appendix A

Required Trees and Shrubs

Any parcel being evaluated for a Biologist's Statement of Habitat for SB 9 and SB 35 shall document any of the tree or shrub species listed here and evaluate them as potential habitat for sensitive species.

Native Tree Species

Coast Live Oak (*Quercus agrifolia*)

Valley Oak (*Quercus lobata*)

Any other tree in the Oak genus native to California

Western Sycamore (*Platanus racemosa*)

Southern California black walnut (*Juglans californica* var. *californica*)

California bay laurel (*Umbellularia californica*)

Native Shrub Species

Mexican Elderberry (*Sambucus mexicana*)

Toyon (*Heteromeles arbutifolia*)

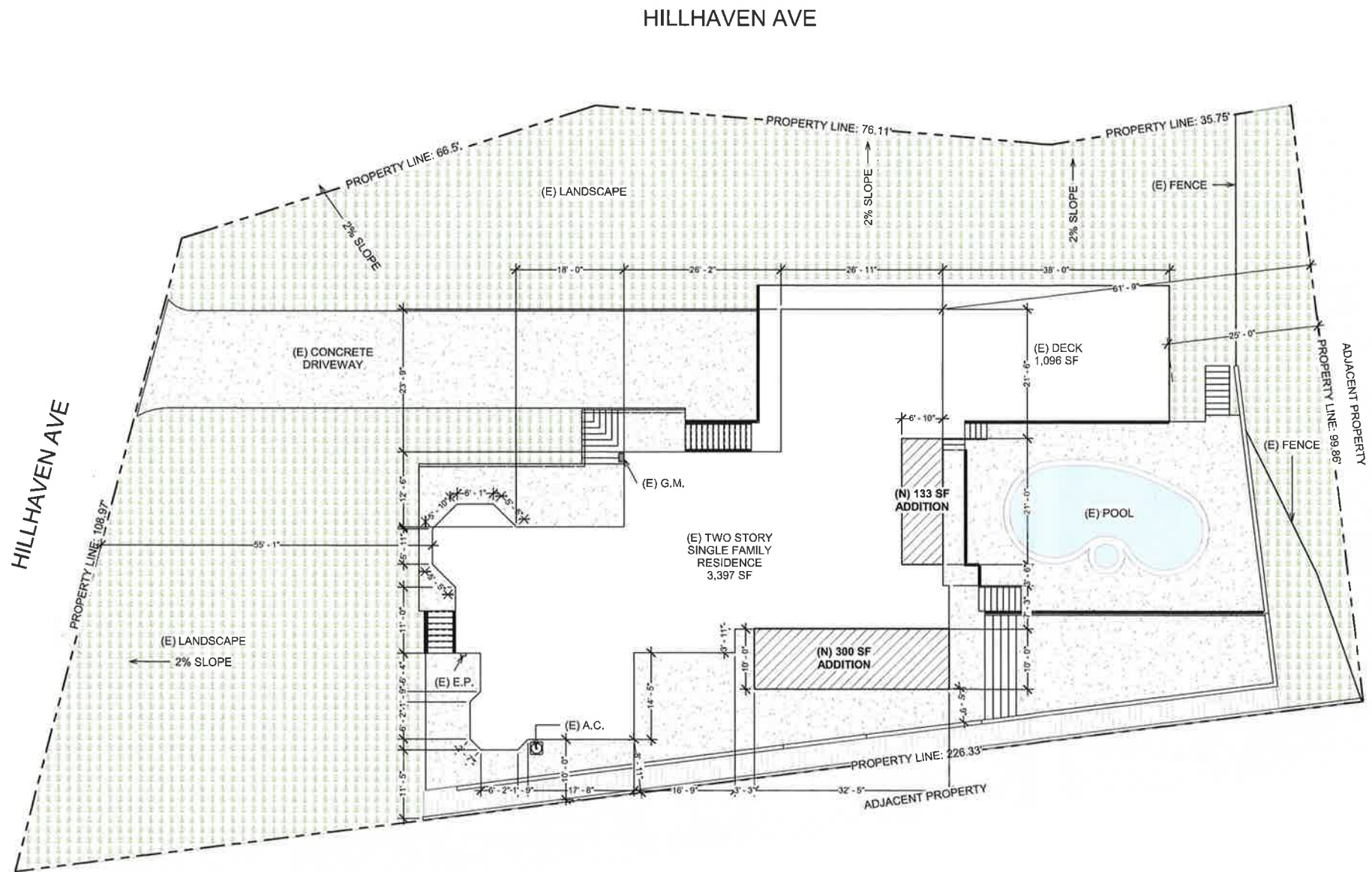
In addition to the above, any parcel within the Coastal Zone being evaluated for a Biologist's Statement of Habitat shall also document any of the non-native tree species listed below and evaluate them as potential habitat for sensitive species.

Non-Native Tree Species Within the Coastal Zone

Blue Gum Eucalyptus (*Eucalyptus globulus*)

Red River Gum Eucalyptus (*Eucalyptus camaldulensis*)

Other Eucalyptus species



1 SITE PLAN
3/32" = 1'-0"

PROJECT INFORMATION	
ZONING DESIGNATION:	RE11-1 SINGLE FAMILY RESIDENCE
OCCUPANCY:	R3 SINGLE FAMILY RESIDENCE
CONSTRUCTION TYPE:	TYPE-VB
FIRE SPRINKLERED:	NO
LOT SIZE:	21,633 SF
EXISTING HOUSE:	3,397 SF
EXISTING GARAGE:	400 SF
EXISTING DECK:	1,096 SF
NEW ADDITION:	433 SF
NEW HOUSE TOTAL:	3,830 SF
RFA CALCULATIONS:	$\frac{3,397 \text{ SF} + 433 \text{ SF}}{21,633 \text{ SF LOT}} = 17\% < 45\% \text{ ALLOWED}$
LOT COVERAGE CALCULATIONS:	$\frac{3,397 \text{ SF} + 433 \text{ SF} + 1,096 \text{ SF}}{21,633 \text{ SF LOT}} = 23\% < 60\% \text{ ALLOWED}$
NUMBER OF STORIES:	2
BUILDING HEIGHT:	26'-8"
VERY HIGH FIRE HAZARD SEVERITY ZONE:	YES
HILLSIDE ZONE:	YES
METHANE ZONE:	NO
LIQUEFACTION:	NO

LEGAL DESCRIPTION	
ADDRESS:	9604 N HILLHAVEN AVE TUJUNGA CA 91042
TRACT:	TR 6701
LOT:	42
BLOCK:	NONE
APN:	2563036022

FLOOR AREA CALCULATIONS			
(E) & (N) SF	ZONING	BUILDING	SCHOOL
EXISTING SF	3,397 SF	3,397 SF	4,893 SF
PROPOSED SF	433 SF	433 SF	489 SF
TOTAL	3,830 SF	3,830 SF	5,362 SF

APPLICABLE CODES:

2020 LABC, 2020 LARC, 2020 LAMC, 2020 LAPC, 2020 LAEC, 2020 LAGBC & ENERGY STANDARDS



SHEET INDEX	
A-1 - SITE PLAN	
A-2 - EXISTING & DEMO ROOF PLAN	
A-3 - PROPOSED ROOF PLAN	
A-4 - EXISTING & DEMO FLOOR PLAN	
A-5 - PROPOSED FLOOR PLAN	
A-6 - PROPOSED CEILING PLAN	
A-7 - EXISTING ELEVATIONS	
A-8 - EXISTING ELEVATIONS	
A-9 - PROPOSED ELEVATIONS	
A-10 - PROPOSED ELEVATIONS	
A-11 - SECTIONS	
A-12 - SECTIONS	
A-13 - GENERAL NOTES	
A-14 - FLASHING DETAILS & FIRE & SOUND RATED WALL	
A-15 - GREEN FORMS	
A-16 - SPECIFICATIONS	

SCOPE OF WORK	
- (N) 433 SF ADDITION TO THE MAIN HOUSE	

RFA ANALYSIS	
BUILDING ELEMENT	SF
(E) HOUSE	3,397 SF
(N) ADDITION	470 SF
TOTAL	3,867 SF
MAX FLOOR AREA (SLOPE ANALYSIS)	9,734 SF

REVISE DATES:

CONTRACTOR TO VERIFY ALL DIMENSIONS, CONDITIONS, ETC. PERTAINING TO THE WORK AT THE SITE BEFORE PROCEEDING WITH THE WORK

AS INSTRUMENT OF SERVICE, ALL DESIGN, IDEAS AND INFORMATION SHOWN ON THESE DRAWINGS ARE AND SHALL REMAIN THE PROPERTY OF SEC DEVELOPMENT. NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF SEC DEVELOPMENT. VISUAL CONTACT WITH THESE DRAWINGS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

OWNER:
MERUZHAN MARGARYAN
ADDRESS:
9604 HILLHAVEN AVE
TUJUNGA CA 91042

SITE PLAN

PROJECT INFO

SECDEVELOPMENT.NET

(818) 935-1171

S | E | C
development

(818) 935-1171

PROJECT INFO	
JOB NUMBER:	22065
DATE DRAWN:	12/9/22
DRAWN BY:	M.A.
CHECKED BY:	V.K.
SCALE:	3/32" = 1'-0"

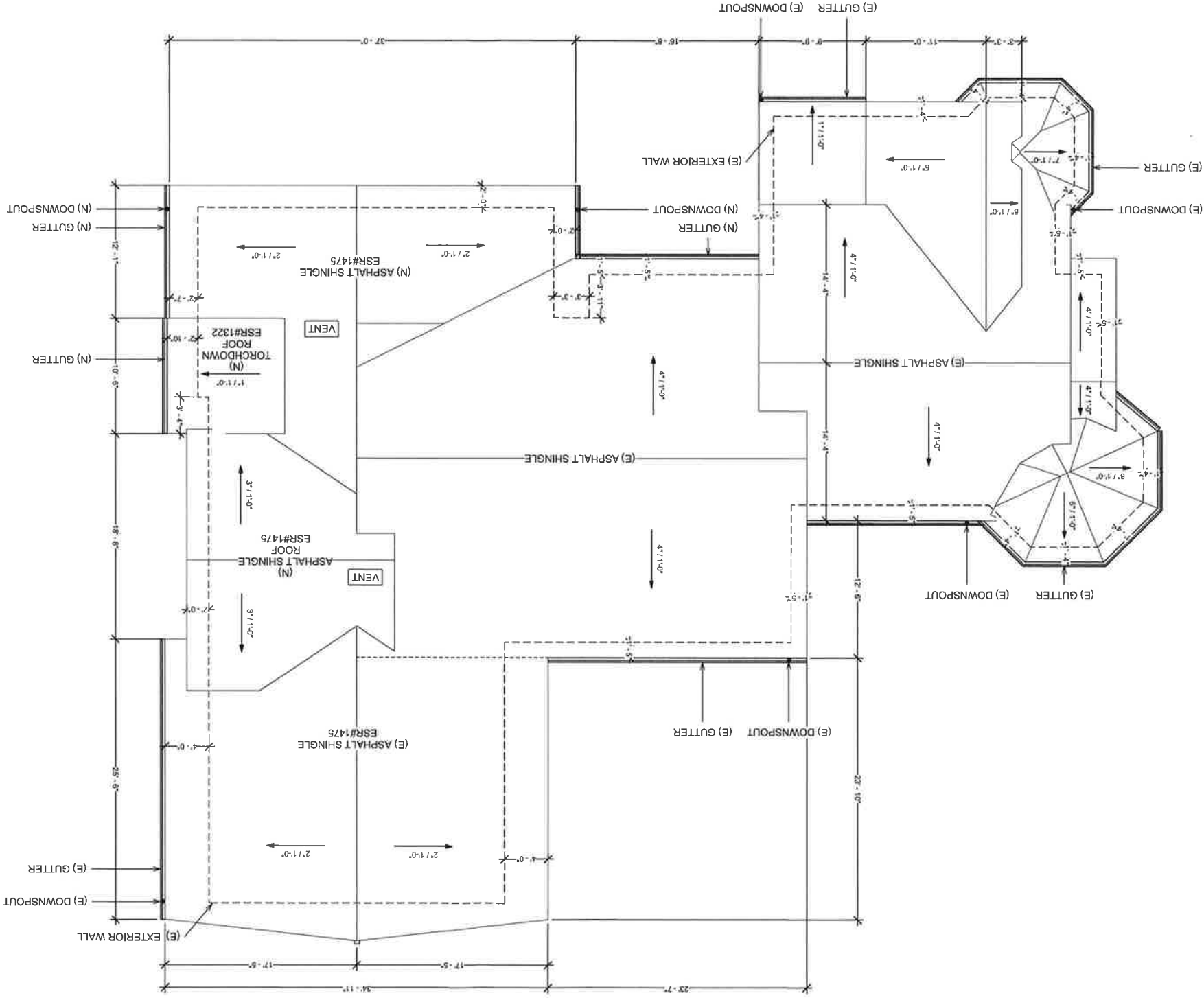
NOTES:
 1. CLASS A ROOF COVERING IS REQUIRED FOR ALL BUILDINGS.
 WOOD SHAKES AND SHINGLES ARE NOT PERMITTED. 7207.4, 1505
 (NO. 28 GALVANIZED SHEET GAUGE) CORROSION-RESISTANT METAL
 INSTALLED OVER A MINIMUM 3/8-INCH-WIDE (914MM)
 UNDERLAYMENT CONSISTING OF ONE LAYER OF NO. 72 ASTM CAP
 SHEET RUNNING THE FULL LENGTH OF THE VALLEY 7054.3
 3. ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO
 PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE
 GUTTER (705A.4)
 4. (ROOF) (ATTIC/EXTERIOR WALL) VENTS SHALL RESIST THE
 INTRUSION OF FLAME AND EMBERS INTO THE ATTIC AREA OF THE
 STRUCTURE, OR SHALL BE PROTECTED BY CORROSION-RESISTANT,
 NONCOMBUSTIBLE WIRE MESH WITH 1/4 INCH (6 MM) OPENINGS OR
 ITS EQUIVALENT. VENTS SHALL NOT BE INSTALLED IN EAVES AND
 CORNICES. 706A.1, 706A.2, 706A.3, 7207.3
 5. EAVES AND SOFFITS SHALL MEET THE REQUIREMENTS OF SFM 12-
 7A.3 OR SHALL BE PROTECTED BY IGNITION-RESISTANT MATERIALS
 OR NONCOMBUSTIBLE CONSTRUCTION ON THE EXPOSED
 UNDERSIDE. 707A.5
 6. EXTERIOR WALLS SHALL BE APPROVED NONCOMBUSTIBLE OR
 IGNITION-RESISTANT MATERIAL, HEAVY TIMBER, OR LOG WALL
 CONSTRUCTION OR SHALL PROVIDE PROTECTION FROM THE
 INTRUSION OF FLAMES AND EMBERS IN ACCORDANCE WITH
 STANDARD SFM 12-7A-1, 707A.3
 7. EXTERIOR WALL COVERINGS SHALL EXTEND FROM THE TOP OF
 FOUNDATION TO THE ROOF, AND TERMINATE AT 2-INCH (50.8 MM)
 NOMINAL SOLID WOOD BLOCKING BETWEEN RAFTERS AT ALL ROOF
 OVERHANGS, OR IN THE CASE OF ENCLOSED EAVES, TERMINATE AT
 THE ENCLOSURE. 704A.3.2
 8. EXTERIOR WINDOWS, WINDOW WALLS, GLAZE DOORS, AND
 GLAZED OPENINGS WITHIN EXTERIOR DOORS SHALL BE INSULATING-
 GLASS UNITS WITH A MINIMUM OF ONE TEMPERED PANE, OR GLASS
 BLOCK UNITS, OR HAVE A FIRE-RESISTANCE RATING OF NOT LESS
 THAN 20 MINUTES, WHEN TESTED ACCORDING TO NFPA 257, OR
 CONFORM TO THE PERFORMANCE REQUIREMENTS OF SFM 12-7A-2,
 706A.2.1
 9. EXTERIOR DOOR ASSEMBLIES SHALL CONFORM TO THE
 PERFORMANCE REQUIREMENTS OF STANDARD SFM 12-7A-1 OR
 SHALL BE APPROVED NONCOMBUSTIBLE CONSTRUCTION, OR SOLID
 CORE WOOD HAVING STILES AND RAILS NOT LESS THAN 1 3/8
 INCHES THICK WITH INTERIOR FIELD PANEL THICKNESS NO LESS
 THAN 1-1/4 INCHES THICK, OR SHALL HAVE A FIRE-RESISTANCE
 RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING
 TO ASMPA 252. (EXCEPTION: NONCOMBUSTIBLE OR EXTERIOR FIRE-
 RETARDANT TREATED WOOD VEHICLE ACCESS DOORS) 706A.3
 10. DECKING, SURFACES, STAIR TREADS, RISERS, AND LANDINGS OF
 DECKS, PORCHES, AND BALCONIES WHERE ANY PORTION OF SUCH
 SURFACE IS WITHIN 10 FEET (3048 MM) OF THE PRIMARY STRUCTURE
 SHALL BE CONSTRUCTED OF HEAVY TIMBER, NON COMBUSTIBLE OR
 OTHER APPROVED MATERIALS PER SEC. 709A.3
 11. THE UNDERSIDE OF CANTILEVERED AND OVERHANGING
 APPENDAGES AND FLOOR PROJECTIONS SHALL MAINTAIN THE
 IGNITION-RESISTANT INTEGRITY OF EXTERIOR WALLS, OR THE
 PROTECTION SHALL BE ENCLOSED TO THE GRADE. 707A.8
 12. BUILDINGS SHALL HAVE ALL UNDERLOOR AREAS COMPLETELY
 ENCLOSED TO THE GRADE WITH CONSTRUCTION AS REQUIRED FOR
 EXTERIOR WALLS. 707A.8, 7207.1
 13. ALL UTILITIES, PIPES, FURNANCES, WATER HEATERS OR OTHER
 MECHANICAL DEVICES LOCATED IN AN EXPOSED UNDER-FLOOR
 AREA OF A RESIDENTIAL BUILDING SHALL BE ENCLOSED WITH
 MATERIALS AS REQUIRED FOR 1-HOUR FIRE-RESISTIVE
 CONSTRUCTION. 7207.2
 14. THE SPACE BETWEEN THE ROOF COVERING AND ROOF DECKING
 SHALL BE CONSTRUCTED TO PREVENT THE INTRUSION OF FLAMES
 AND EMBERS AND BE FIRE STOPPED PER 705A.2.
 15. NO TRELLIS IS PERMITTED WITHIN 10 FEET OF THE PRIMARY
 STRUCTURE.
 16. TRELLIS MORE THAN 10 FEET FROM THE PRIMARY STRUCTURE
 SHALL BE CONSTRUCTED OF HEAVY TIMBER OR NON COMBUSTIBLE
 MATERIALS, MINIMUM OF 4 INCHES SPACING IS REQUIRED BETWEEN
 THE MEMBERS. P/B/C 2020-023

ATTIC VENT CALCULATIONS:

1 SQUARE FEET FOR EVERY 150 SQUARE FEET ATTIC FLOOR AREA
 REQUIRED.
 433 SQUARE FEET OF ATTIC SPACE / 150 SQ FT = 2.95 SQ FT
 2.95 SQ FT x 144 = 425.28 SQ IN NET FREE VENT REQUIRED
 (2) SOLAR POWERED VENT = 720 SQ IN NET FREE VENT
 PROVIDED.
 720 SQ IN OF NET FREE VENT PROVIDED > 425.28 SQ IN NET FREE
 VENT REQUIRED

PROJECT INFO
 JOB NUMBER: 22055
 DATE DRAWN: 12/9/22
 DRAWN BY: M.A.
 CHECKED BY: V.K.
 SCALE: 3/16" = 1'-0"
A-3

PROPOSED ROOF PLAN
 3/16" = 1'-0"



**PROPOSED
 ROOF PLAN**

OWNER:
 MERUZHAN MARGARAVAN
 ADDRESS:
 9604 HILLHAVEN AVE
 TULUNGA CA 91042

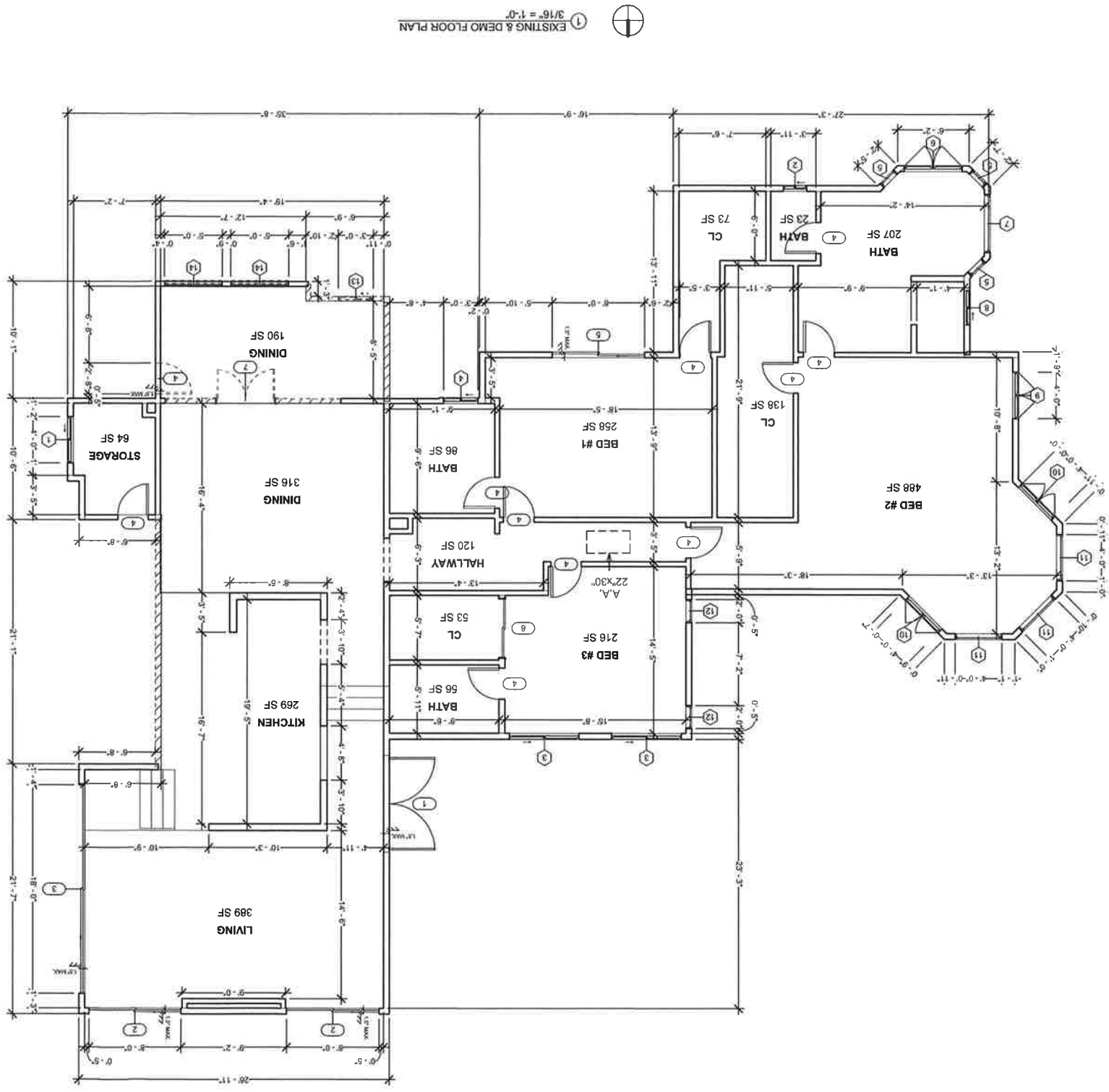
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 WITHOUT THE WRITTEN CONSENT
 OF SEC DEVELOPMENT. VISUAL
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 SHALL CONSTITUTE CONCLUSIVE
 EVIDENCE OF ACCEPTANCE OF
 THESE RESTRICTIONS.

REVISE DATES:

SEC DEVELOPMENT NET
 (818) 844-7111

**SEC
 development**

SEC DEVELOPMENT NET
 (818) 844-7111



1/16" = 1'-0" EXISTING & DEMO FLOOR PLAN

LEGEND

	EXISTING WALL (2x4)
	DEMO WALL (2x4)

EXISTING WINDOW SCHEDULE

MARK	WIDTH	HEIGHT	OPERATION	FRAMING	TEMPERED	SILL HEIGHT	QUANTITY	U-FACTOR	SHGC
1	4'-0"	4'-0"	SLIDING	VINYL	NO	2'-8"	1	0.32	0.23
2	2'-0"	2'-0"	SLIDING	VINYL	YES (ONLY 1)	4'-8"	1	0.32	0.23
3	4'-0"	4'-0"	SLIDING	VINYL	NO	2'-8"	2	0.32	0.23
4	3'-0"	4'-0"	SLIDING	VINYL	NO	2'-8"	2	0.32	0.23
5	1'-8"	4'-0"	FIXED	VINYL	NO	2'-8"	3	0.32	0.23
6	5'-0"	4'-0"	CASEMENT	VINYL	NO	2'-8"	1	0.32	0.23
7	5'-0"	4'-0"	FIXED	VINYL	NO	2'-8"	1	0.32	0.23
8	3'-0"	3'-0"	SLIDING	VINYL	YES	2'-8"	1	0.32	0.23
9	4'-0"	3'-0"	CASEMENT	VINYL	NO	3'-8"	1	0.32	0.23
10	4'-0"	4'-0"	CASEMENT	VINYL	NO	2'-8"	2	0.32	0.23
11	4'-0"	4'-0"	FIXED	VINYL	NO	2'-8"	3	0.32	0.23
12	2'-0"	4'-0"	CASEMENT	VINYL	NO	2'-8"	2	0.32	0.23
13	3'-0"	3'-0"	SLIDING	VINYL	NO	2'-8"	1	0.32	0.23
14	5'-0"	3'-0"	ANGLED FIXED	VINYL	NO	5'-0"	2	0.32	0.23

EXISTING DOOR SCHEDULE

MARK	WIDTH	HEIGHT	OPERATION	FRAMING	MATERIAL	TEMPERED	QUANTITY	U-FACTOR	SHGC
1	8'-0"	8'-0"	DOUBLE SWING	METAL	METAL	NO	1	N/A	N/A
2	8'-0"	8'-0"	SLIDING	VINYL	GLASS	YES	3	0.32	0.30
3	8'-0"	18'-0"	TRIPLE SLIDING	VINYL	GLASS	YES	1	0.32	0.30
4	2'-8"	8'-8"	SWING	WOOD	WOOD	NO	11	N/A	N/A
5	8'-0"	8'-0"	SLIDING	VINYL	GLASS	YES	1	0.32	0.30
6	7'-0"	8'-0"	DOUBLE SLIDING	WOOD	WOOD	NO	1	N/A	N/A
7	5'-0"	8'-8"	DOUBLE SWING	WOOD	WOOD	YES	1	0.32	0.30

PROJECT INFO

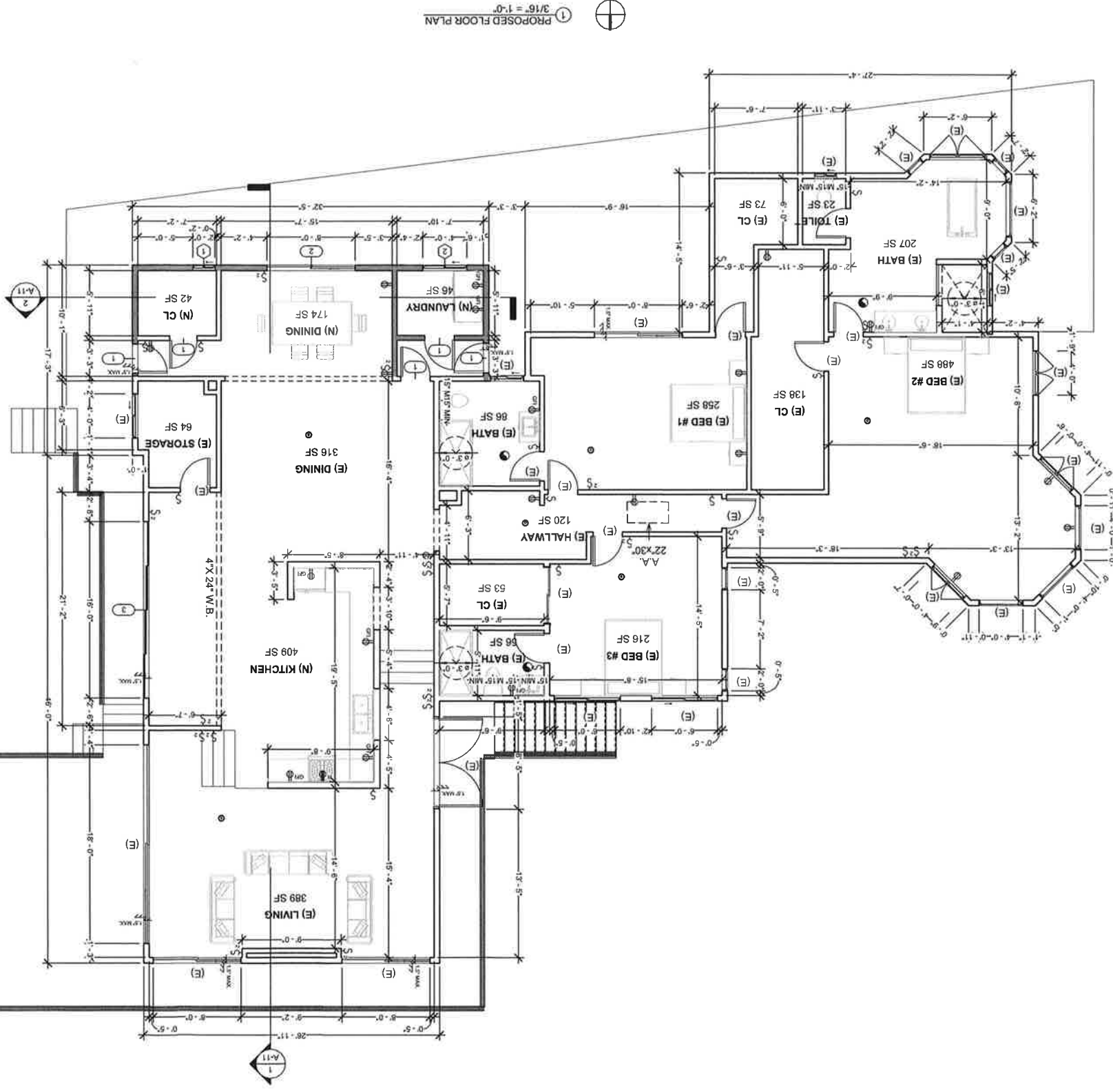
JOB NUMBER:	22065
DATE DRAWN:	12/9/22
DRAWN BY:	M.A.
CHECKED BY:	V.K.
SCALE:	3/16" = 1'

(619) 464-7111
 SECURE DEVELOPMENT, INC.
 development

EXISTING & DEMO FLOOR PLAN

OWNER:
 MERUZHAN MARGARIVAN
 ADDRESS:
 9804 HILLHAVEN AVE
 TULUNGA CA 91042

REVISIONS AND INFORMATION SHOWN ON THESE DRAWINGS ARE THE PROPERTY OF SEC DEVELOPMENT. NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF SEC DEVELOPMENT. VISUAL CONTACT WITH THESE DRAWINGS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.



1 PROPOSED FLOOR PLAN
3/16" = 1'-0"

+ ALL RECEPTACLES IN BATHROOMS, GARAGES, ACCESSORY BUILDINGS, OUTDOORS, CRAWL SPACES, UNFINISHED BASEMENTS, KITCHENS, (WHERE RECEPTACLES SERVE COUNTER TOP SURFACES, LAUNDRY, UTILITY, WET BAR SINKS (WITHIN 6" OF THE EDGE OF THE SINK), SHALL HAVE GROUND-FAULT CIRCUIT INTERRUPTER (GFCI).

+ ALL BRANCH CIRCUITS SUPPLYING RECEPTACLES IN FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, BATHROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, AND SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT

ELECTRICAL LEGEND

	240V OUTLET
	RANGE OUTLET
	GFI OUTLET
	DOUBLE OUTLET
	DIMMER SWITCH
	DOUBLE SWITCH
	SINGLE SWITCH

LEGEND

	SMOKE DETECTOR / CARBON MONOXIDE
	ENERGY STAR EXHAUST FAN AND CONTROLLED BY HUMIDISTAT
	NEW WALL (2X4)
	EXISTING WALL (2X4)

NOTE:

+ SMOKE ALARM SHALL BE INTERCONNECTED HARD-WIRED WITH BATTERY BACKUP AND SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 72.

+ CARBON MONOXIDE ALARM SHALL BE INTERCONNECTED HARD-WIRED WITH BATTERY WITH BATTERY BACKUP.

+ FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF LESS THAN 50% TO A MAXIMUM OF 60% UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM.

+ ALL SHOWER ENCLOSURES SHOULD BE TAPERED GLAZING.

+ THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS AND SKYLIGHTS INCLUDE TUBULAR) MUST REMAIN ON THE UNIT UNTIL FINAL INSPECTION HAS

NATURAL LIGHT CALCULATION:

(N) DINING: 174 SF	REQUIRED: 13.92 SF	PROVIDED: 6.96 SF
(N) DOOR: 1 = 32 SF	REQUIRED: 6.4 SF	PROVIDED: 3.2 SF
(N) DINING: 174 SF	REQUIRED: 13.92 SF	PROVIDED: 6.96 SF
(N) DOOR: 1 = 32 SF	REQUIRED: 6.4 SF	PROVIDED: 3.2 SF
(E) KITCHEN: 409 SF	REQUIRED: 40.9 SF	PROVIDED: 20.45 SF
(N) DOOR: 1 = 60 SF	REQUIRED: 12.18 SF	PROVIDED: 6.09 SF
REQUIRED: 16.36 SF		

PROPOSED WINDOW SCHEDULE

MARK	WIDTH	HEIGHT	OPERATION	FRAMING	TEMPERED	SILL HEIGHT	QUANTITY	U-FACTOR	SHGC
1	2'-0"	2'-0"	DOUBLE SLIDING	VINYL	NO	4'-8"	1	0.32	0.30
2	4'-0"	4'-0"	DOUBLE SLIDING	VINYL	YES	3'-2"	1	0.32	0.30

PROPOSED DOOR SCHEDULE

MARK	WIDTH	HEIGHT	OPERATION	FRAMING	MATERIAL	TEMPERED	QUANTITY	U-FACTOR	SHGC
1	2'-8"	6'-8"	SWING	WOOD	WOOD	NO	5	N/A	N/A
2	8'-0"	8'-0"	DOUBLE SLIDING	WOOD	GLASS	YES	1	0.32	0.30
3	18'-0"	6'-8"	DOUBLE SLIDING	WOOD	GLASS	YES	1	0.32	0.30

A-5

PROJECT INFO
JOB NUMBER: 22065
DATE DRAWN: 12/8/22
DRAWN BY: M.A.
CHECKED BY: V.K.
SCALE: 3/16" = 1'

SECURE DEVELOPMENT
development

SECURE DEVELOPMENT NET
(916) 844-7111

PROPOSED FLOOR PLAN

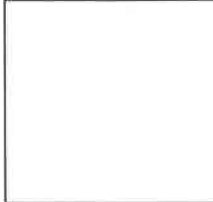
OWNER:
MERUZHAN MARGARYAN
ADDRESS:
9604 HILLHAVEN AVE
TULUNGA CA 91042

CONTRACTOR TO VERIFY ALL DIMENSIONS, CONDITIONS, ETC., PERTAINING TO THE WORK AT THE SITE BEFORE PROCEEDING WITH THE WORK.
AS INSTRUMENT OF SERVICE, ALL DESIGN, IDEAS AND INFORMATION SHOWN ON THESE DRAWINGS ARE AND SHALL REMAIN THE PROPERTY OF SEC DEVELOPMENT. NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF SEC DEVELOPMENT. VISUAL OF SEC DEVELOPMENT, VISUAL CONTACT WITH THESE DRAWINGS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

REVISE DATES:

PROJECT INFO
JOB NUMBER: 22065
DATE DRAWN: 12/8/22
DRAWN BY: M.A.
CHECKED BY: V.K.
SCALE: 3/16" = 1'-0"
A-6

SECURE DEVELOPMENT
 development
 (818) 484-7111
 SECUREDEVELOPMENT.NET



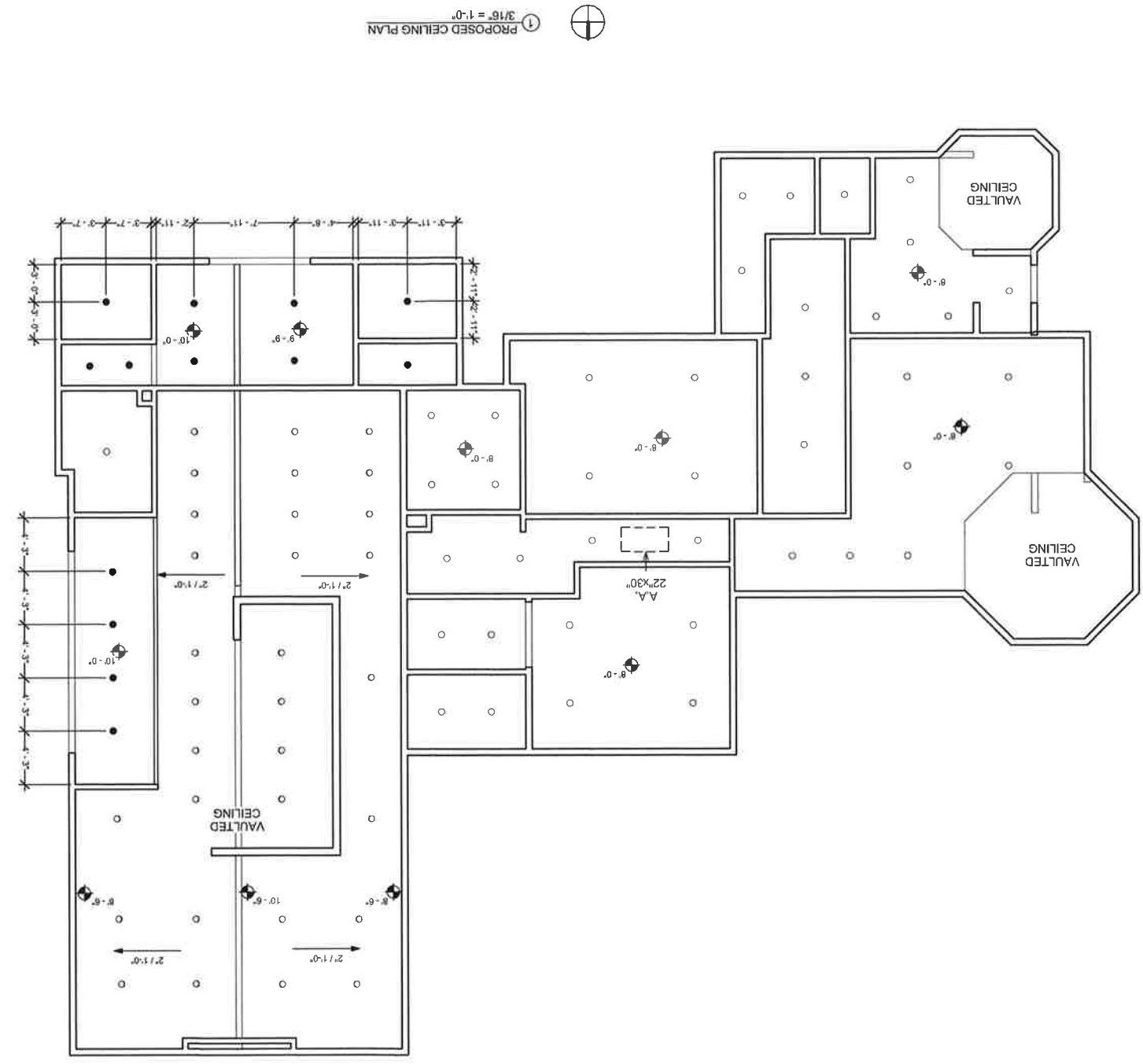
**PROPOSED
 CEILING PLAN**

OWNER:
 MERUZKHAN MARGARYAN
 ADDRESS:
 9604 HILLHAVEN AVE
 TULINGA CA 91042

CONTRACTOR TO VERIFY ALL DIMENSIONS, CONDITIONS, ETC. PERTAINING TO THE WORK AT THE SITE BEFORE PROCEEDING WITH THE WORK.
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REVISE DATES:

LIGHT LEGEND		
TYPE OF LIGHT	SYMBOL	QUANTITY
RECESSED CAN	●	13



PROJECT NFO	22065
JOB NUMBER:	22065
DATE DRAWN:	12/9/22
DRAWN BY:	M.A.
CHECKED BY:	V.K.
SCALE:	3/16" = 1'-0"
A-10	

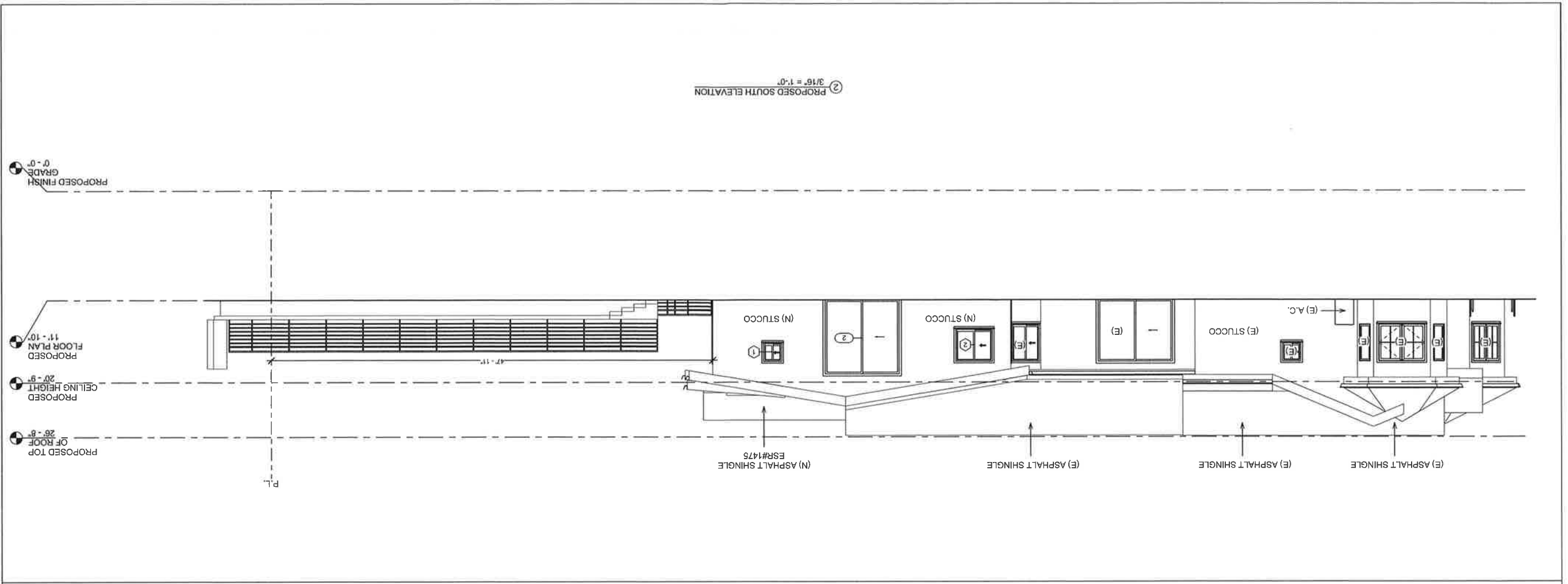
SECURE DEVELOPMENT
 development
 (916) 356-1171
 SECURE DEVELOPMENT.NET

PROPOSED ELEVATIONS

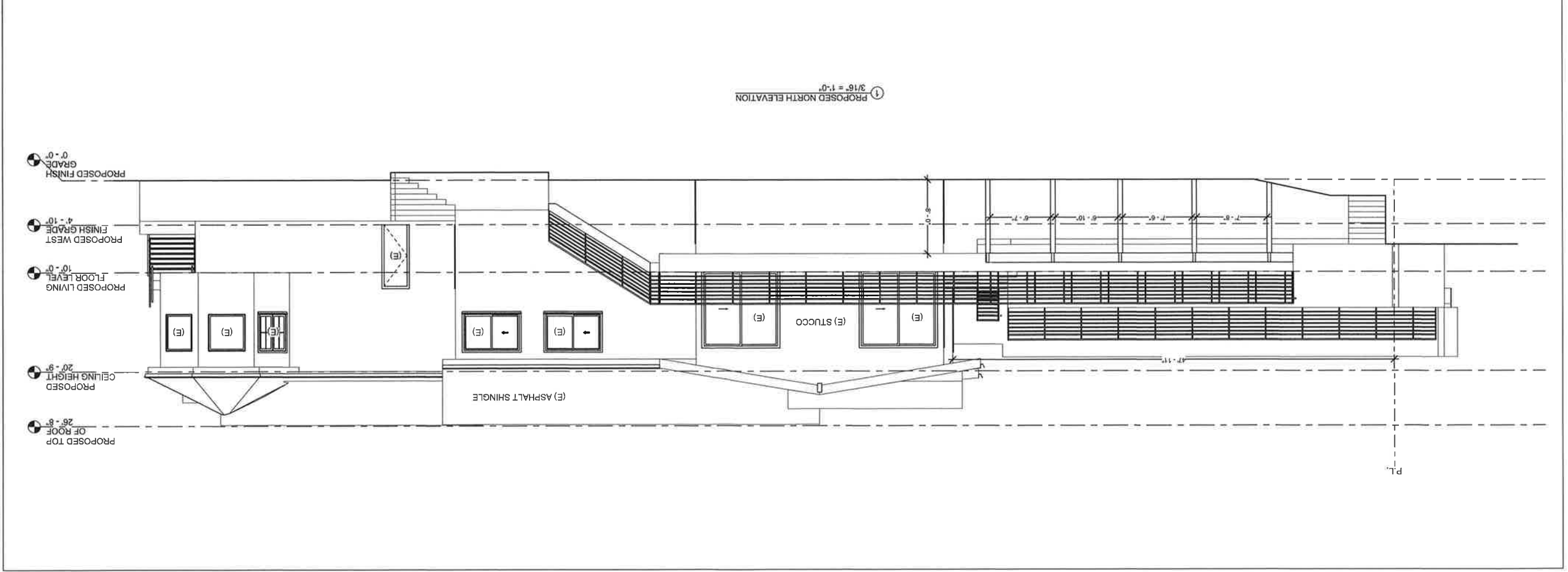
OWNER:
 MERUZHAN MARGARYAN
 ADDRESS:
 9604 HILLHAVEN AVE
 TULUNGA CA 91042

CONTRACTOR TO VERIFY ALL DIMENSIONS, CONDITIONS, ETC. PERTAINING TO THE WORK AT THE SITE BEFORE PROCEEDING WITH THE WORK.
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REVISE DATES,



2 PROPOSED SOUTH ELEVATION
 3/16" = 1'-0"




1 PROPOSED NORTH ELEVATION
 3/16" = 1'-0"

PROJECT INFO
JOB NUMBER: 22085
DATE DRAWN: 12/9/22
DRAWN BY: M.A.
CHECKED BY: V.K.
SCALE: 1" = 1'

A-12

(916) 444-7111

SEC DEVELOPMENT NET



(916) 444-7111

SEC DEVELOPMENT NET

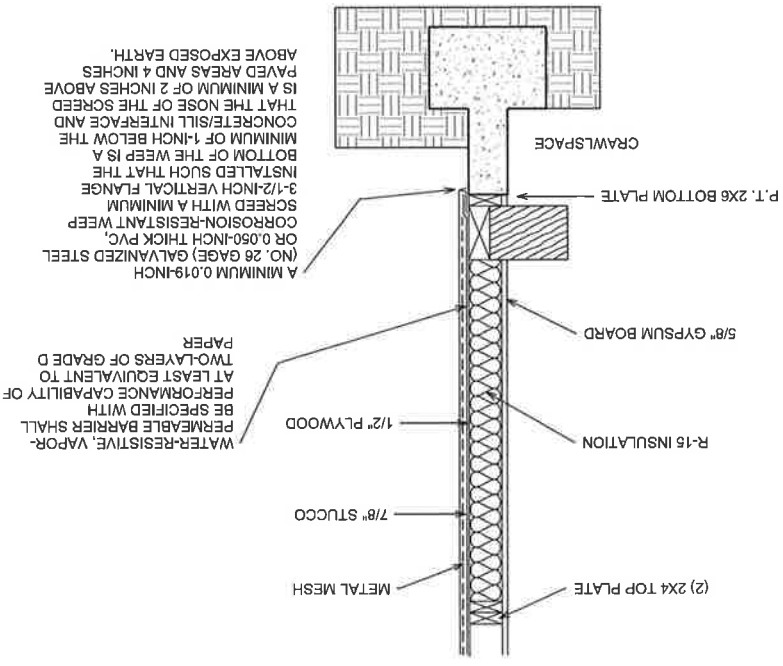
SECTIONS

OWNER:
MERUZHAN MARGARYAN
ADDRESS:
9604 HILLHAVEN AVE
TULUNGA CA 91042

CONTRACTOR TO VERIFY ALL DIMENSIONS, CONDITIONS, ETC. PERTAINING TO THE WORK AT THE SITE BEFORE PROCEEDING WITH THE WORK.
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REVISE DATES:

1. EXTERIOR WALL DETAIL (CRAWLSPACE) (N.T.S.)



Storm Water Quality Protection Requirements for Construction Activities

The following notes shall be incorporated in the approved set of construction/grading plans and projects.

- Construction means constructing, clearing, grading or excavation that result in soil disturbance. Construction includes surface treatment (demineral), if does not include routine maintenance to maintain original line and grade, hydraulic capacity, or original purpose of facility; emergency construction activities required to immediately protect public health and safety, interior encroaching with no outside exposure of construction material or construction on water to storm water, mechanical permit work, or sign permit work.
- Sheet flow, swales, area drains, natural drainage or wind dispersed deposits must be swept up immediately and may not be washed down by rain or any other means.
- Construction activities shall be stabilized to as to inhibit sediments from being deposited into the street and other materials shall not be tracked from the site by vehicle traffic. The construction and maintained on-site during the construction duration.
- Where retention of storm water runoff on-site is not feasible due to site constraints, runoff may be conveyed to the street and the storm system provided that an approved filtering system is installed.
- Retention basins or infiltration basins shall be provided to retain storm water runoff on-site and shall be emptied by rain or any other means.
- Construction activities shall be stabilized to as to inhibit sediments from being deposited into the street and other materials shall not be tracked from the site by vehicle traffic. The construction and maintained on-site during the construction duration.
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Page 1 of 1

MANDATORY REQUIREMENTS CHECKLIST (COMPLETE AND INCORPORATE THIS FORM INTO THE PLANS)

Permit # XXXXXXXXXXXXXXXXXXXX
 Date 12/29/22

ITEM #	CODE	SECTION	REQUIREMENT	REFERENCE	COMMENTS
1	A-102	1	Storm water drainage and retention during construction	GRN 1	
2	A-103	2	Grading and retention	GRN 1	
3	A-105	3	Control of sediment	GRN 1	
4	A-214	4	Water conservation (including fixtures and appliances)	GRN 14 NOTE #2	
5	A-201	5	Water conservation (including fixtures and appliances)	GRN 14 NOTE #6	
6	A-201.1	6	Multiple showerheads, single showerheads	GRN 14 NOTE #2	
7	A-201.2	7	Water conservation	GRN 14 NOTE #2	
8	A-201.3	8	Water conservation	GRN 14 NOTE #2	
9	A-201.4	9	Water conservation	GRN 14 NOTE #2	
10	A-201.5	10	Water conservation	GRN 14 NOTE #2	
11	A-201.6	11	Water conservation	GRN 14 NOTE #2	
12	A-201.7	12	Water conservation	GRN 14 NOTE #2	
13	A-201.8	13	Water conservation	GRN 14 NOTE #2	
14	A-201.9	14	Water conservation	GRN 14 NOTE #2	
15	A-201.10	15	Water conservation	GRN 14 NOTE #2	
16	A-201.11	16	Water conservation	GRN 14 NOTE #2	
17	A-201.12	17	Water conservation	GRN 14 NOTE #2	
18	A-201.13	18	Water conservation	GRN 14 NOTE #2	
19	A-201.14	19	Water conservation	GRN 14 NOTE #2	
20	A-201.15	20	Water conservation	GRN 14 NOTE #2	
21	A-210.1	21	Environmental quality	GRN 14 NOTE #11	
22	A-203.1	22	Fixtures and woodstoves	GRN 14 NOTE #14	

Page 2 of 2

REFERENCE (incorporate this form into the plans)

ITEM #	CODE	SECTION	REQUIREMENT	REFERENCE	COMMENTS
23	A-204	23	Coverage of duct openings and protection of mechanical equipment during construction	GRN 14 NOTE #15	
24	A-204.1	24	Fixtures and coverings	GRN 2	
25	A-204.2	25	Adhesives, sealants, gaskets	GRN 2	
26	A-204.3	26	Paints and coatings	GRN 2	
27	A-204.4	27	Vermin	GRN 2	
28	A-204.5	28	Vermin	GRN 2	
29	A-204.6	29	Vermin	GRN 2	
30	A-204.7	30	Vermin	GRN 2	
31	A-204.8	31	Vermin	GRN 2	
32	A-204.9	32	Vermin	GRN 2	
33	A-204.10	33	Vermin	GRN 2	
34	A-204.11	34	Vermin	GRN 2	
35	A-204.12	35	Vermin	GRN 2	
36	A-204.13	36	Vermin	GRN 2	
37	A-204.14	37	Vermin	GRN 2	
38	A-204.15	38	Vermin	GRN 2	
39	A-204.16	39	Vermin	GRN 2	
40	A-204.17	40	Vermin	GRN 2	
41	A-204.18	41	Vermin	GRN 2	
42	A-204.19	42	Vermin	GRN 2	
43	A-204.20	43	Vermin	GRN 2	
44	A-204.21	44	Vermin	GRN 2	
45	A-204.22	45	Vermin	GRN 2	
46	A-204.23	46	Vermin	GRN 2	
47	A-204.24	47	Vermin	GRN 2	
48	A-204.25	48	Vermin	GRN 2	
49	A-204.26	49	Vermin	GRN 2	
50	A-204.27	50	Vermin	GRN 2	
51	A-204.28	51	Vermin	GRN 2	
52	A-204.29	52	Vermin	GRN 2	
53	A-204.30	53	Vermin	GRN 2	
54	A-204.31	54	Vermin	GRN 2	
55	A-204.32	55	Vermin	GRN 2	
56	A-204.33	56	Vermin	GRN 2	
57	A-204.34	57	Vermin	GRN 2	
58	A-204.35	58	Vermin	GRN 2	
59	A-204.36	59	Vermin	GRN 2	
60	A-204.37	60	Vermin	GRN 2	
61	A-204.38	61	Vermin	GRN 2	
62	A-204.39	62	Vermin	GRN 2	
63	A-204.40	63	Vermin	GRN 2	
64	A-204.41	64	Vermin	GRN 2	
65	A-204.42	65	Vermin	GRN 2	
66	A-204.43	66	Vermin	GRN 2	
67	A-204.44	67	Vermin	GRN 2	
68	A-204.45	68	Vermin	GRN 2	
69	A-204.46	69	Vermin	GRN 2	
70	A-204.47	70	Vermin	GRN 2	
71	A-204.48	71	Vermin	GRN 2	
72	A-204.49	72	Vermin	GRN 2	
73	A-204.50	73	Vermin	GRN 2	
74	A-204.51	74	Vermin	GRN 2	
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92	A-204.69	92	Vermin	GRN 2	
93	A-204.70	93	Vermin	GRN 2	
94	A-204.71	94	Vermin	GRN 2	
95	A-204.72	95	Vermin	GRN 2	
96	A-204.73	96	Vermin	GRN 2	
97	A-204.74	97	Vermin	GRN 2	
98	A-204.75	98	Vermin	GRN 2	
99	A-204.76	99	Vermin	GRN 2	
100	A-204.77	100	Vermin	GRN 2	

Page 2 of 2

VOC AND FORMALDEHYDE LIMITS (incorporate this form into the plans)

ITEM #	CODE	SECTION	REQUIREMENT	REFERENCE	COMMENTS
1	A-101	1	Construction means constructing, clearing, grading or excavation that result in soil disturbance. Construction includes surface treatment (demineral), if does not include routine maintenance to maintain original line and grade, hydraulic capacity, or original purpose of facility; emergency construction activities required to immediately protect public health and safety, interior encroaching with no outside exposure of construction material or construction on water to storm water, mechanical permit work, or sign permit work.	GRN 1	
2	A-102	2	Storm water drainage and retention during construction	GRN 1	
3	A-103	3	Grading and retention	GRN 1	
4	A-105	4	Control of sediment	GRN 1	
5	A-201	5	Water conservation (including fixtures and appliances)	GRN 14 NOTE #6	
6	A-201.1	6	Multiple showerheads, single showerheads	GRN 14 NOTE #2	
7	A-201.2	7	Water conservation	GRN 14 NOTE #2	
8	A-201.3	8	Water conservation	GRN 14 NOTE #2	
9	A-201.4	9	Water conservation	GRN 14 NOTE #2	
10	A-201.5	10	Water conservation	GRN 14 NOTE #2	
11	A-201.6	11	Water conservation	GRN 14 NOTE #2	
12	A-201.7	12	Water conservation	GRN 14 NOTE #2	
13	A-201.8	13	Water conservation	GRN 14 NOTE #2	
14	A-201.9	14	Water conservation	GRN 14 NOTE #2	
15	A-201.10	15	Water conservation	GRN 14 NOTE #2	
16	A-201.11	16	Water conservation	GRN 14 NOTE #2	
17	A-201.12	17	Water conservation	GRN 14 NOTE #2	
18	A-201.13	18	Water conservation	GRN 14 NOTE #2	
19	A-201.14	19	Water conservation	GRN 14 NOTE #2	
20	A-201.15	20	Water conservation	GRN 14 NOTE #2	
21	A-201.16	21	Water conservation	GRN 14 NOTE #2	
22	A-201.17	22	Water conservation	GRN 14 NOTE #2	
23	A-201.18	23	Water conservation	GRN 14 NOTE #2	
24	A-201.19	24	Water conservation	GRN 14 NOTE #2	
25	A-201.20	25	Water conservation	GRN 14 NOTE #2	
26	A-201.21	26	Water conservation	GRN 14 NOTE #2	
27	A-201.22	27	Water conservation	GRN 14 NOTE #2	
28	A-201.23	28	Water conservation	GRN 14 NOTE #2	
29	A-201.24	29	Water conservation	GRN 14 NOTE #2	
30	A-201.25	30	Water conservation	GRN 14 NOTE #2	
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73	A-201.68	73	Water conservation	GRN 14 NOTE #2	
74	A-201.69	74	Water conservation	GRN 14 NOTE #2	
75	A-201.70	75	Water conservation	GRN 14 NOTE #2	
76	A-201.71	76			

